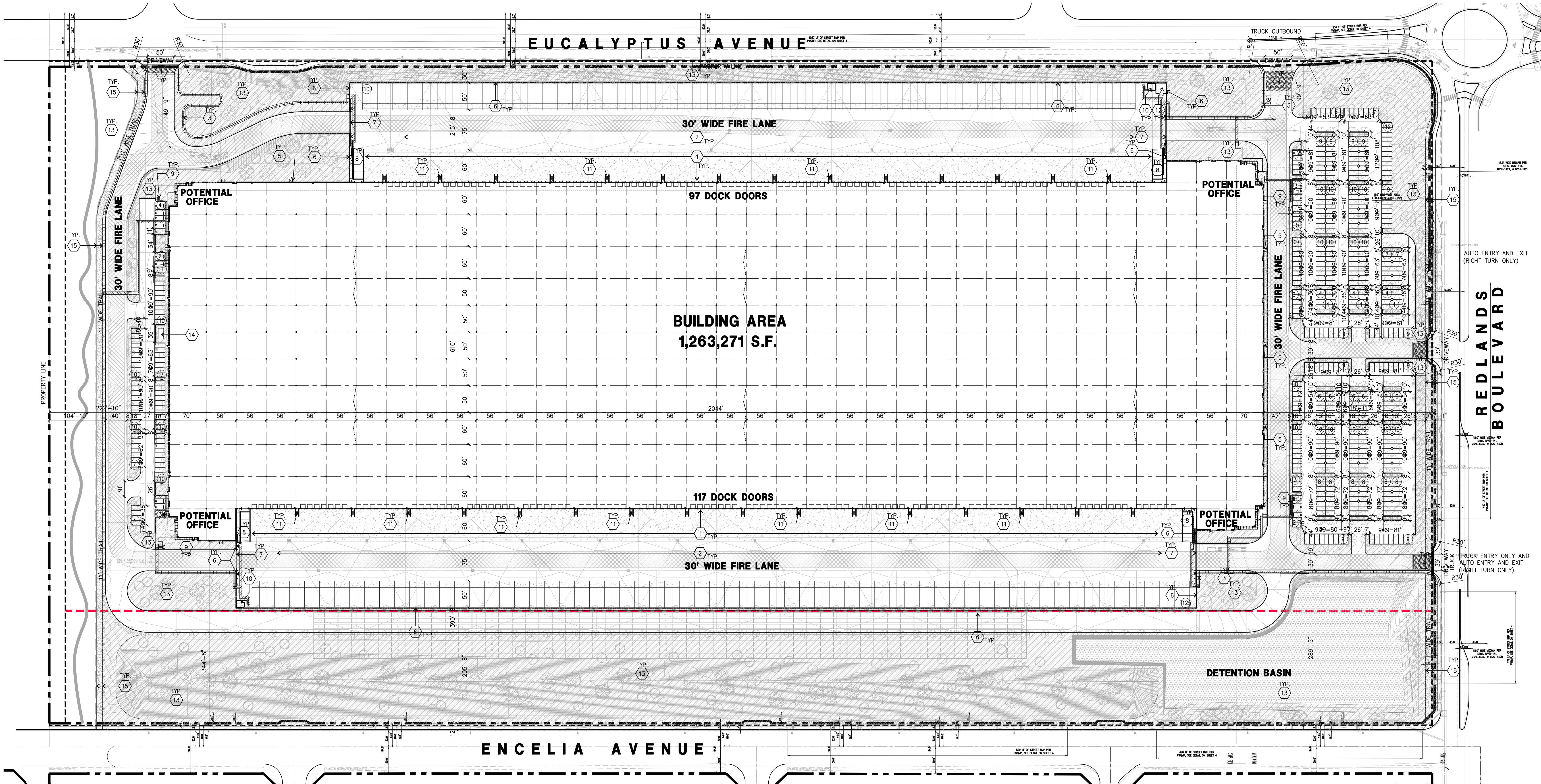




vicinity map



Existing legal descriptions

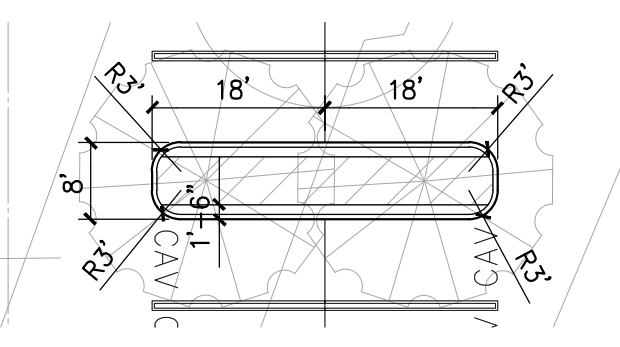
LOTS 1-8 IN BLOCK 54 IN THE CITY OF MORENO VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN ON MAP BY NO. 1 OF THE BEAR VALLEY ALESSANDRO DEVELOPMENT COMPANY RECORDED IN BOOK 11, PAGE 10 OF MAPS, RECORDS OF SAN BERNARDINO COUNTY, CALIFORNIA.

tabulation

SITE AREA	
Gross Area	3,486,325 s.f.
In acres	80.04
Net Area	
In s.f.	3,167,134 s.f.
In acres	72.71 ac
BUILDING AREA	
Office	20,000 s.f.
Warehouse	1,243,271 s.f.
Total	1,263,271 s.f.
Coverage	39.9%
AUTO PARKING REQUIRED	
Office: 1/250 s.f.	80 stalls
Whse: 1st 20K @ 1/1,000 s.f.	20 stalls
2nd 20K @ 1/2,000 s.f.	10 stalls
Above 40K @ 1/14,000 s.f.	301 stalls
Total	411 stalls
TOTAL AUTO PARKING PROVIDED	
Standard (8' x 18')	394 stalls
ADA Van (12' x 18')	4 stalls
ADA std (9' x 18')	8 stalls
EV ADA Van (12' x 18')	2 stalls
EV ADA Std (9' x 18')	2 stalls
EV std (9' x 18')	47 stalls
Ambulatory (11' x 18')	2 stalls
CAV std (9' x 18')	60 stalls
Total	521 stalls
TRAILER PARKING REQUIRED	
1 per dock door	214 stalls
TRAILER PARKING PROVIDED	
Trailer (14' x 50')	228 stalls
MAXIMUM FLOOR AREA RATIO	
FAR - to be verified	
ZONING ORDINANCE FOR CITY	
Existing - Residential agriculture 2 dwellings (RA2)	
Proposed - Industrial (I)	
SETBACKS	
Building	Landscape
Front /Street- 20'	10'
Interior side - 3'	
Rear - 3'	
Note: when any industrial district abuts a property in any residential, a min. bldg. setback equal to the bldg. height, but not less than 20' shall be required from such residential district. Further, the 10' of such setback nearest the district boundary line shall be landscape.	

site plan general notes

- THE SOILS REPORT IS TO BE PART OF THESE CONTRACT DOCUMENTS
- IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE
- ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE UNLESS OTHERWISE NOTED.
- SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES.
- THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM.
- SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
- CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS.
- SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS. SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
- CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12' E.A. WAY W/ 1:20 MAX. SLOPE. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". SEE "L" DRAWINGS FOR FINISH.
- PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
- CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE PLANNING DIVISION AND APPROVED BY PUBLIC FACILITIES DEVELOPMENT PRIOR TO ISSUANCE OF BUILDING PERMITS.
- PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO PLANNING DIVISION.
- ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN GUIDELINES OR AS OBTAINED FROM PLANNING DIVISION.
- LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB
- APPROVED CONCEPTUAL LANDSCAPE PLAN PRIOR TO GRADING PERMIT
- ALL ROOF DRAINS SHALL BE DIRECTED TO A LANDSCAPE AREA.
- PEDESTRIAN WALKWAYS ACROSS DRIVE AISLES SHALL BE CONSTRUCTED OF A DECORATIVE PAVING.



FINGER PLANTING, TYP.

scale: 1" = 20'-0"

site legend

LANDSCAPED AREA	STANDARD TRAILER STALL 14' X 50'
AC. PAVING	
CONCRETE PAVING	
3' X 18'	
9' X 18'	
HANDICAP PARKING STALL 9' X 18' W/ 2' C.I.	
PROPOSED R.W. P.L.	
EXISTING P.L.	
ADA PATH OF TRAVEL	

project information

Owner / Applicant
BRITTON CAPITAL
120 S. SIERRA AVENUE
SOLANA BEACH, CA 92075
TEL: (858) 683-7100
CONTACT: BOB EMRI
BEMR@BRITTONCAPITAL.COM

Civil Engineer
THIENES ENGINEERING
14349 FIRESTONE BLVD.
LA MIRADA, CA 90638
TEL: (714) 521-4811
CONTACT: ARISTOTLE CORONEL
ARIS@THIENESENG.COM

Architect
HPA, INC.
18831 BARDEEN AVE. SUITE #100
IRVINE, CA 92612
TEL: (949) 862-2110
CONTACT: JAIME CRUZ
JAIME@HPARCHS.COM

Existing Zoning
RA2 (RESIDENTIAL AGRICULTURE 2 DWELLINGS)

Proposed Zoning
I (INDUSTRIAL)

Assessors Parcel Number
488-340-002 THRU 012

site plan keynotes

- 6" THICK MINIMUM, REINFORCED CONCRETE TRUCK APRON, W/ #3 @ 18" O.C.E.W. 3500 PSI W. CONSTRUCTION AND/OR EXPANSION JOINTS A MAXIMUM OF 18'-0" O.C. EXPANSION JOINTS TO BE A MIN. OF 1'-1/2" DEEP AND A MAXIMUM ULTIMATE WIDTH OF 1/4". VERIFY WITH SOILS ENGINEER. PROVIDE HEAVY BROOM FINISH. ALL JOINTS TO BE CLEANED AND FILLED W/ ASPHALTIC CAULKING.
- ASPHALT CONCRETE (AC) PAVING PER SOILS ENGINEER RECOMMENDATION AS APPROVED BY THE CITY.
- CONCRETE WALKWAY
- DRIVEWAY APRONS TO BE CONSTRUCTED PER CITY STANDARD MV51-112C-0. PROVIDE DECORATIVE PAVING (STAMPED CONCRETE W/ LIGHT BROOM FINISH) AT ALL DRIVE LOCATIONS.
- 5'-6"x5'-6"x4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY AS REQ. BY CITY INSPECTOR.
- 14' HIGH CONCRETE TILT-UP SCREEN WALL PER SEPARATE PERMIT
- 8" METAL AUTOMATIC SLIDING GATE.
- CONCRETE RAMP
- BIKE RACK, "U" SHAPED. EACH RACK HOLDS 2 BIKES. 16 RACKS PROVIDED
- TRASH ENCLOSURE TO BE TWO BIN AND FULLY COVERED PER CITY STANDARD.
- CONCRETE STAIRS
- PUMP ROOM
- LANDSCAPE. SEE CONCEPTUAL LANDSCAPE PLAN.
- APPROXIMATE LOCATION OF TRANSFORMER
- TRAIL FENCING ON BOTH SIDES OF TRAIL PER CITY STANDARDS

utility information

TELEPHONE:
VERIZON
150 SO JUANITA ST.
IRVINE, CA 92614
PHONE: (951) 658-7305
CONTACT: PHIL BRILLINGER

ELECTRIC:
MORENO VALLEY UTILITIES
14177 FREDERICK ST.
MORENO VALLEY, CA 92552
PHONE: (951) 413-3480
CONTACT: MICHELLE PIERCE

GAS:
THE GAS COMPANY
25200 TRUMBULE ROAD SC 8058
RANCHO AND, CA 92580
PHONE: (951) 535-3902
CONTACT: DAVE MULLIGAN

WATER:
EASTERN MUNICIPAL WATER DISTRICT
2270 TRUMBULE ROAD
PERRIS, CA 92571
PHONE: (951) 928-3777
CONTACT: NEW BUSINESS

SEWER:
EASTERN MUNICIPAL WATER DISTRICT
2270 TRUMBULE ROAD
PERRIS, CA 92571
PHONE: (951) 928-3777
CONTACT: NEW BUSINESS

CABLE TV:
TIME WARNER
1500 AUTO CENTER DR.
ONTARIO, CA 91761
PHONE: (951) 975-3380
CONTACT: MARK DAUENHAUER



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irvine, ca
92612
tel: 949-863-1770
fax: 949-863-0851
email: hpa@hparchs.com

Owner:



901 Via Piemonte, Suite 175
Ontario, CA 91764

tel: (909) 382-0033
fax: (909) 382-0073

Project:

MORENO VALLEY
TRADE CENTER

EUCALYPTUS AVE.
AND REDLANDS BLVD.

Eucalytus Avenue
Moreno Valley, CA 92551

Consultants:

Civil:	Thienes Engineering
Structural:	-
Mechanical:	-
Plumbing:	-
Electrical:	-
Landscape:	Hunter Landscape
Fire Protection:	-
Soils Engineer:	-

Title: overall site plan

Project Number: 19137

Drawn by: JC

Date: 10/03/19

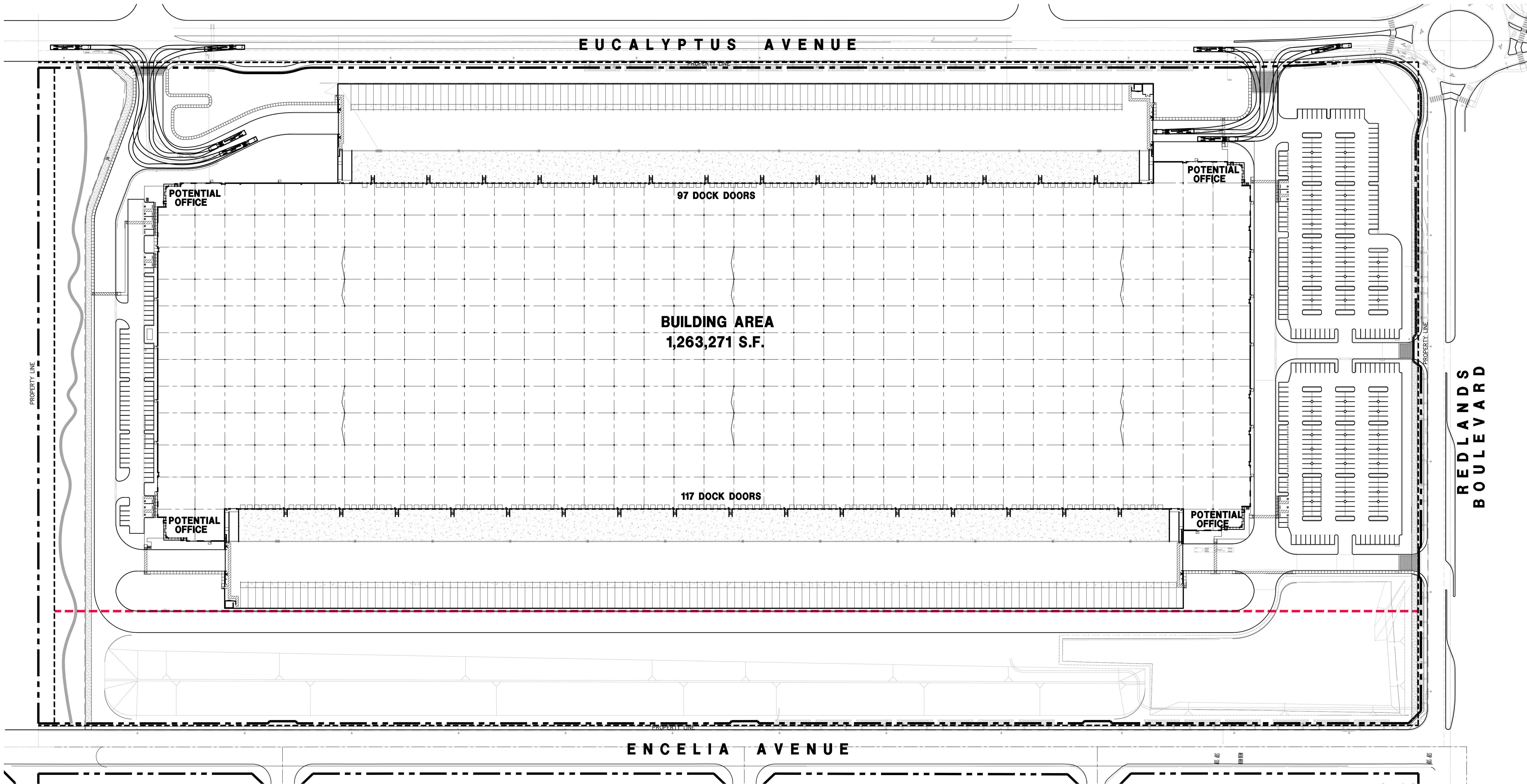
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OPTION 1



OVERALL SITE PLAN A
scale: 1" = 80'-0"



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Owner:



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Project:

MORENO VALLEY
TRADE CENTER
EUCALYPTUS AVE.
AND REDLANDS BLVD.

Eucalytus Avenue
Moreno Valley, CA 92551

Consultants:

Civil:	Thienes Engineering
Structural:	-
Mechanical:	-
Plumbing:	-
Electrical:	-
Landscape:	Hunter Landscape
Fire Protection:	-
Soils Engineer:	-

Title: truck turn plan

Project Number: 19137
Drawn by: JC
Date: 10/03/19
Revision:

PEN19-0193

Sheet:

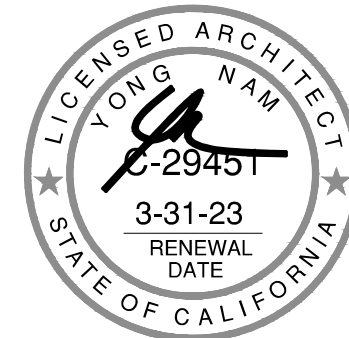
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Project:

MORENO VALLEY
TRADE CENTER

EUCALYPTUS AVE.
AND REDLANDS BLVD.

Eucalytus Avenue
Moreno Valley, CA 92551

Consultants:

Civil:	Thienes Engineering
Structural:	-
Mechanical:	-
Plumbing:	-
Electrical:	-
Landscape:	Hunter Landscape
Fire Protection:	-
Soils Engineer:	-

Title: OVERALL FLOOR PLAN

Project Number: 19137

Drawn by: JC

Date: 10/03/19

Revision:

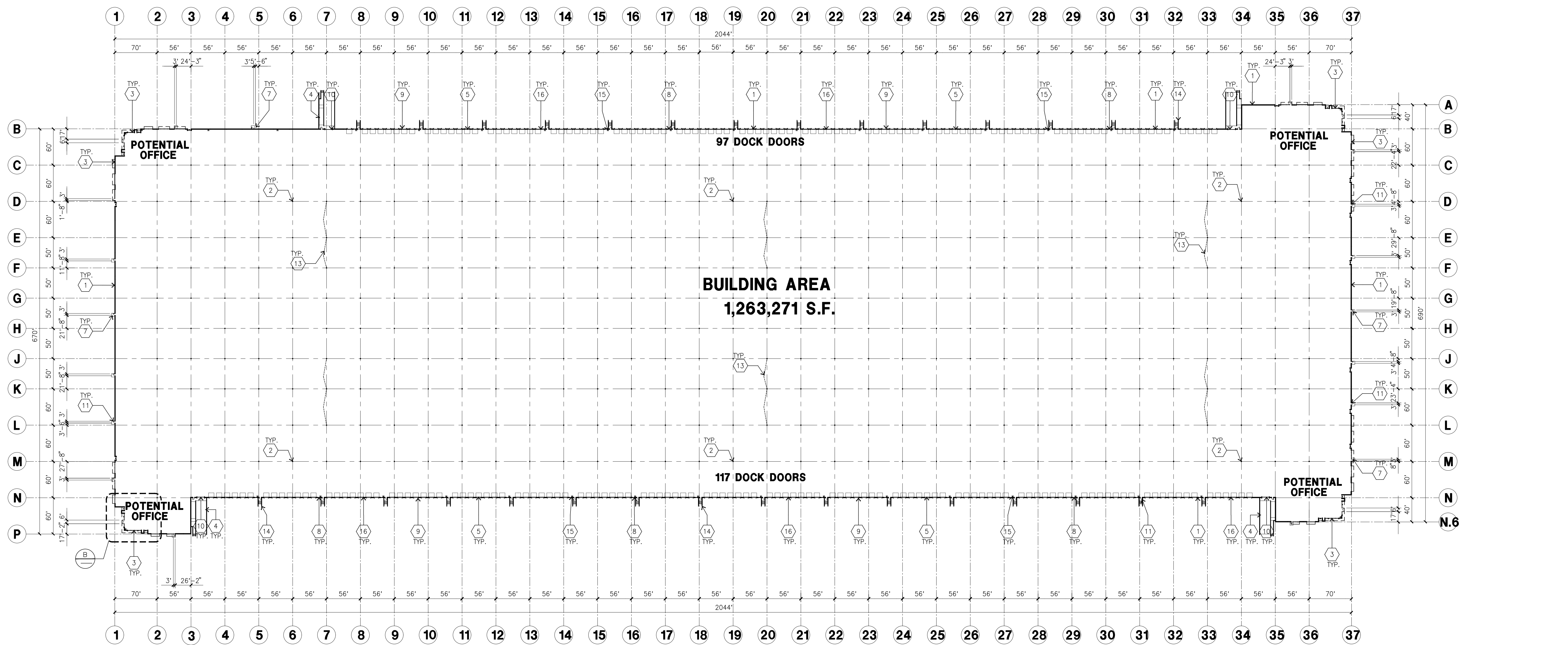
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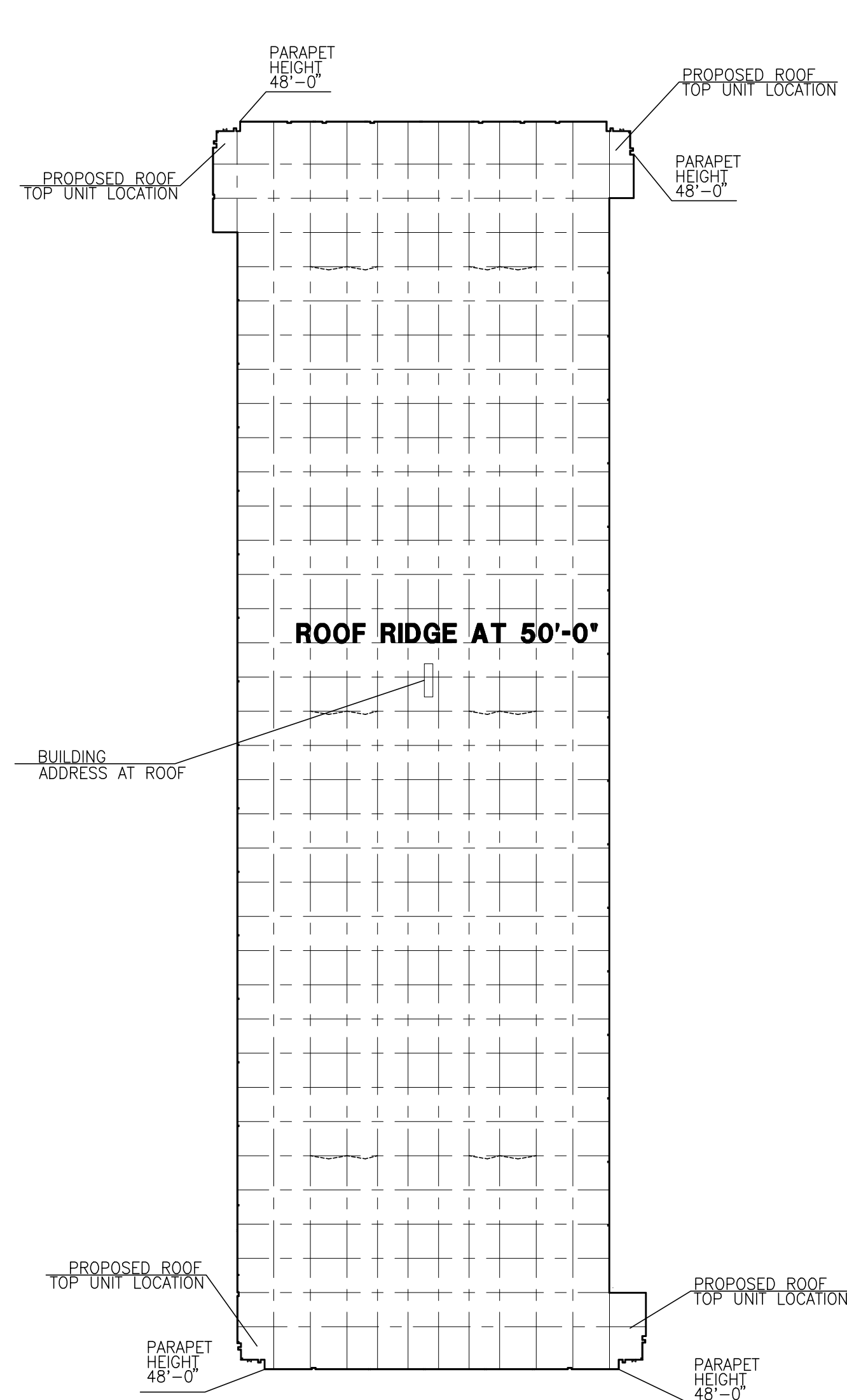
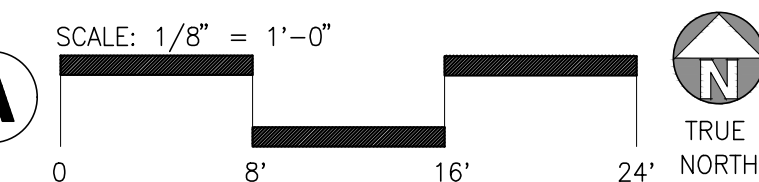
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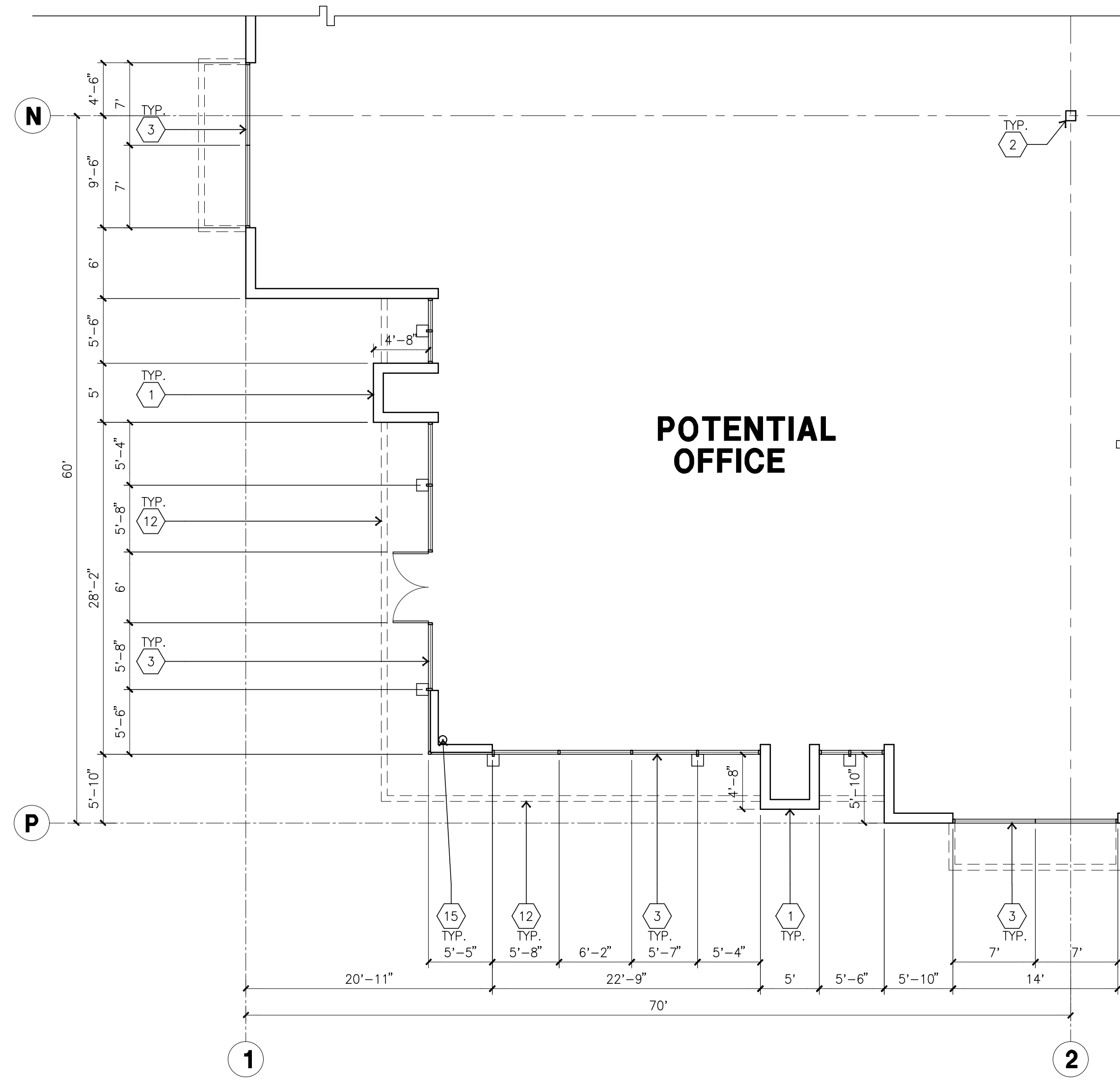
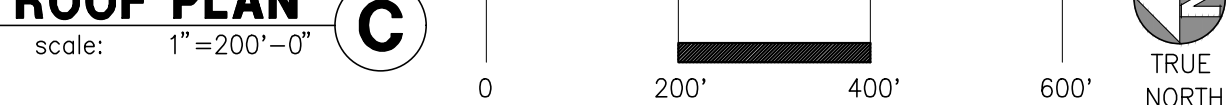
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OVERALL FLOOR PLAN A



OVERALL ROOF PLAN C



ENLARGED FLOOR PLAN B

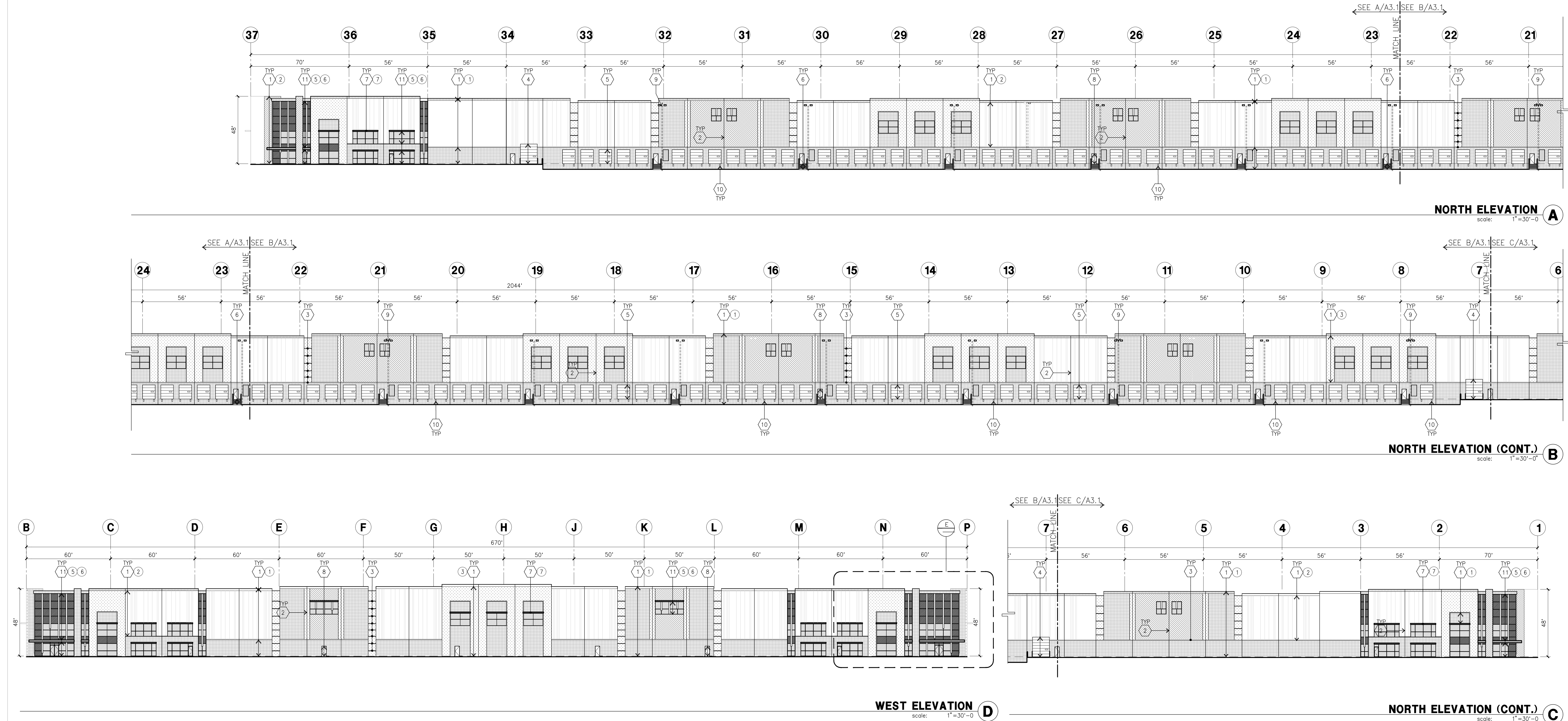


KEYNOTES - FLOOR PLAN

- 1 CONCRETE TILT-UP PANEL.
- 2 STRUCTURAL STEEL COLUMN.
- 3 TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE OFFICE BLOW-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- 4 CONCRETE RAMP W/ 42" HIGH CONC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDE OF RAMP.
- 5 9'-0" X 10' TRUCK DOOR, SECTIONAL O.H., STANDARD GRADE.
- 6 EXTERIOR CONCRETE STAIR
- 7 5'-6" X 5'-6" X 4" THICK CONCRETE EXTERIOR LANDING PAD TYPICAL AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREA. FINISH TO BE MEDIUM BLOOM FINISH. SLOPE TO BE 1/4" : 12" MAX. PROVIDE WALK TO HARD SURFACE PER CITY REQUIREMENTS.
- 8 LOUVERED OPENING FOR VENTILATION.
- 9 DOCK DOOR BUMPER.
- 10 12' X 14' DRIVE THRU. SECTIONAL O.H., STANDARD GRADE. DESIGNED TO RESIST WIND 110 MPH., EXPOSURE "C".
- 11 3'X7' HOLLOW METAL EXTERIOR MAN DOOR. DESIGNED TO RESIST WIN 110 MPH., EXPOSURE "C".
- 12 SOFFIT LINE ABOVE
- 13 BRACE FRAME.
- 14 CONC. FILLED GUARD POST. 6" DIA. U.N.O.. 42"H.
- 15 INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPERS.
- 16 Z GUARD

GENERAL NOTES - FLOOR PLAN

- A. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS AT 100' MAXIMUM O.C. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS.
- B. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
- C. THE BUILDING FLOOR SLAB IS SLOPED, SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
- D. NOT USED
- E. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL GYP. BD. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
- F. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL MANDOR EXITS.
- G. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD U.N.O.
- H. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATION.
- I. FOR DOOR TYPES AND SIZES. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
- J. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAPERED INCLUDING CARS AND TRUCKS.
- K. ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN. HARDWARE.
- L. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
- M. EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 60" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
- N. NON-ACCESSIBLE DOOR. PROVIDE WARNING SIGN LOCATED IN THE INTERIOR SIDE PER CBC 1133B.1.1.1
- O. ALL ROOF MOUNTED MATERIALS SHALL BE FULLY SCREENED FROM PUBLIC VIEW.



KEYNOTES - ELEVATIONS

- CONCRETE TILT-UP PANEL (PAINTED). FINISH GRADE VARIES. SEE "C" DRAWINGS. WATERPROOF ALL WALLS WHERE GRADE IS HIGHER AND EXPOSED TO THE WEATHER ONE SIDE. WATERPROOFING TO BE PROTECTED WITH PROTECTION BOARD AND A MIN. OF 6" OF GRAVEL. PROVIDE TRENCH DRAIN AT BOTTOM AND DAYLIGHT TO CURB OR TAKE TO STORM DRAIN. NOT REQUIRED AT DOCK HIGH CONDITION OR AT RAMP WALLS.
- PANEL JOINT.
- PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR. U.N.O.
- OVERHEAD DOOR @ DRIVE THRU. SEE DOOR SCHEDULE. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- OVERHEAD DOOR @ DOCK HIGH. SEE DOOR SCHEDULE. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- CONCRETE STAIR, LANDING AND GUARDRAIL W/ METAL PIPE HANDRAIL. PROVIDE NON SKID NOSSING TO MEET ADA REQUIREMENTS. PROVIDE CONTRASTING COLORED 3" WIDE WARNING STRIPE INTEGRAL TO CONCRETE AT TOP LANDING AND BOTTOM TREAD PER ADA REQUIREMENTS.
- CANOPY
- HOLLOW METAL DOORS. SEE DOOR SCHEDULE. PROVIDE COMPLETE WEATHER STRIPPING ALL AROUND DOOR. PROVIDE FOR RAIN DIVERTER ABOVE DOOR.
- INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPERS
- DOCK BUMPER
- ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING AT ALL DOORS. SIGLITES ADJACENT TO DOORS AND GLAZING WITH BOTTOMS LESS THAN 18" ABOVE FINISH FLOOR ELEVATION.
- ILLUMINATED BUILDING ADDRESS PER FIRE DEPT. REQUIREMENTS. 24" H. X 2" THICK HIGH DENSITY FOAM HELVATIC BOLD W/ 1/16" CAST ALUMINUM FACES EPOXY TO WALL. COLOR TO BE SELECTED BY ARCHITECT.

GENERAL NOTES - ELEVATIONS

- ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C.T.O.P. EL= TOP OF PARAPET ELEVATION.
- F.F. = FINISH FLOOR ELEVATION.
- STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST 90 MPH EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
- BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
- FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE.
- USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
- THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON

COLOR SCHED. - ELEVATIONS

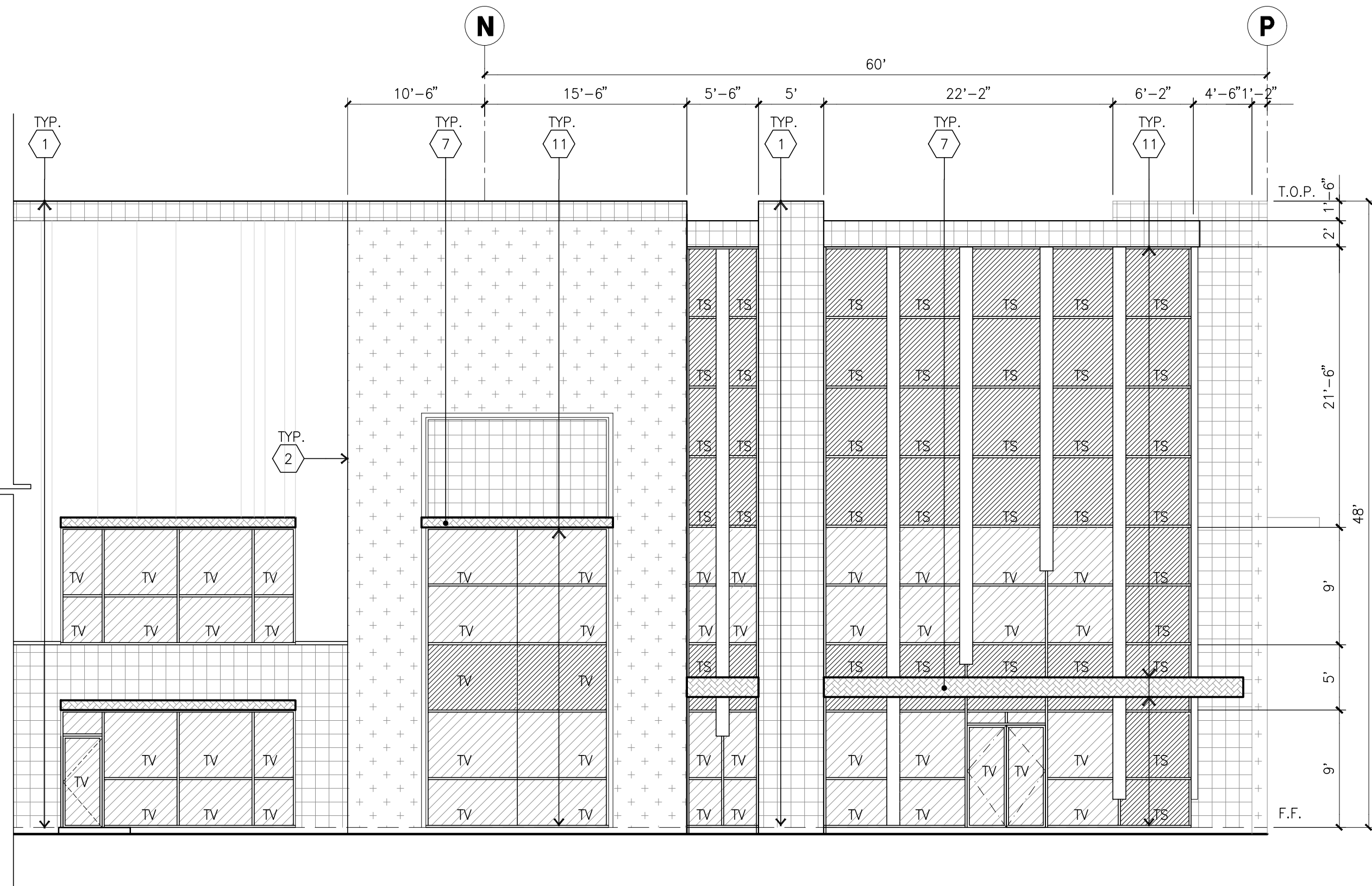
- CONCRETE TILT-UP PANEL PAINT BRAND: SHERWIN WILLIAMS SW 7531 CANVAS TAN
- CONCRETE TILT-UP PANEL PAINT BRAND: SHERWIN WILLIAMS SW 7532 URBAN PUTTY
- CONCRETE TILT-UP PANEL PAINT BRAND: SHERWIN WILLIAMS SW 7545 INTELLECTUAL GRAY
- CONCRETE TILT-UP PANEL PAINT BRAND: SHERWIN WILLIAMS SW 7546 ANONYMOUS
- MULLIONS PAINT BRAND: CLEAR ANODIZED
- GLAZING COLOR: BLUE REFLECTIVE GLAZING
- CANOPY SHERWIN WILLIAMS ACRYLIC LATEX SYSTEM HIGH GLOSS/HIGH PERFORMANCE PAINT BRAND: SW 7075 WEBB GRAY

GLAZING LEGEND

- TS TEMPERED SPANDREL GLASS TV TEMPERED VISION GLASS

PAINT AND MATERIAL LEGEND

- 1 2 3 4 7

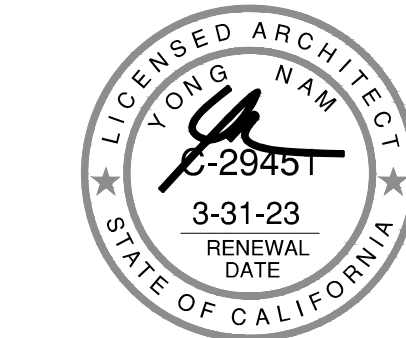


ENLARGED WEST ELEVATION @ POTENTIAL OFFICE AREA

scale: 1/8" = 1'-0"



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Owner:



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Ontario, CA 91764

tel: (909) 382-0033
fax: (909) 382-0073

Project:

MORENO VALLEY
TRADE CENTER

EUCALYPTUS AVE.
AND REDLANDS BLVD.

Eucalytus Avenue
Moreno Valley, CA 92551

Consultants:

Civil: Thienes Engineering
Structural: -
Mechanical: -
Plumbing: -
Electrical: -
Landscape: Hunter Landscape
Fire Protection: -
Soils Engineer: -

Title: Elevations

Project Number: 19137
Drawn by: JC
Date: 10/03/19
Revision:

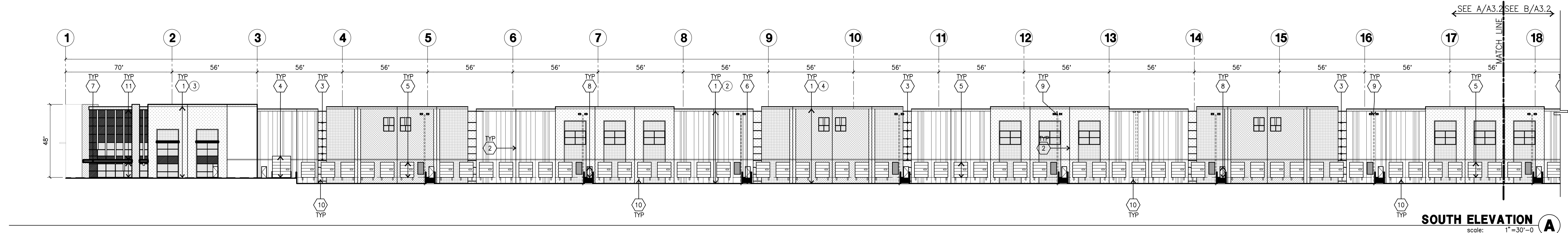
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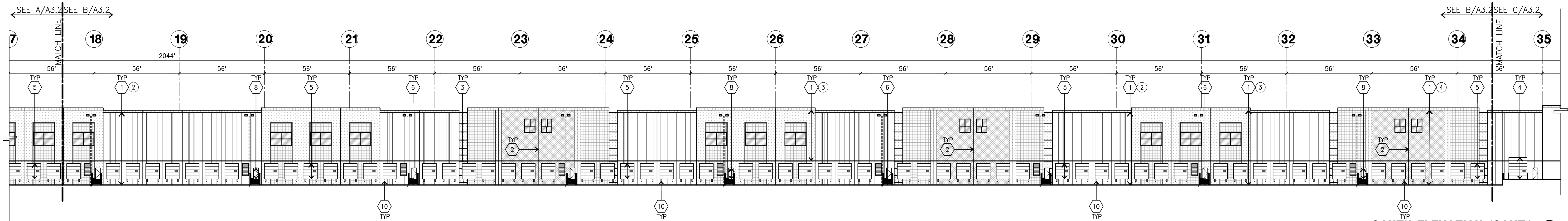
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OPTION 1

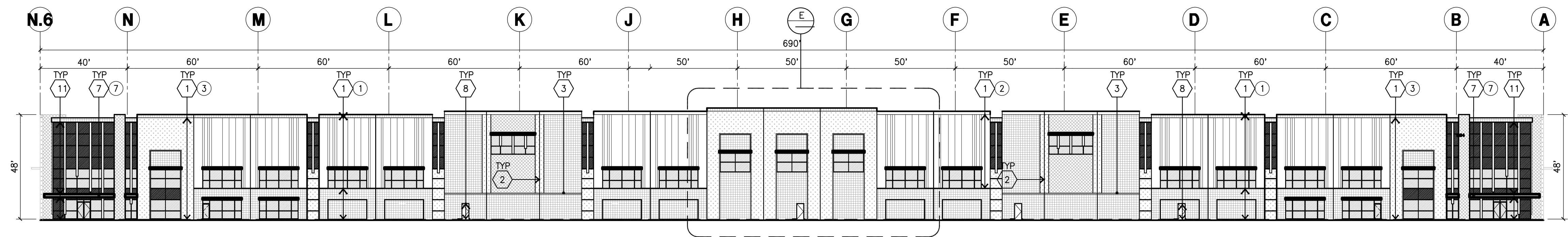
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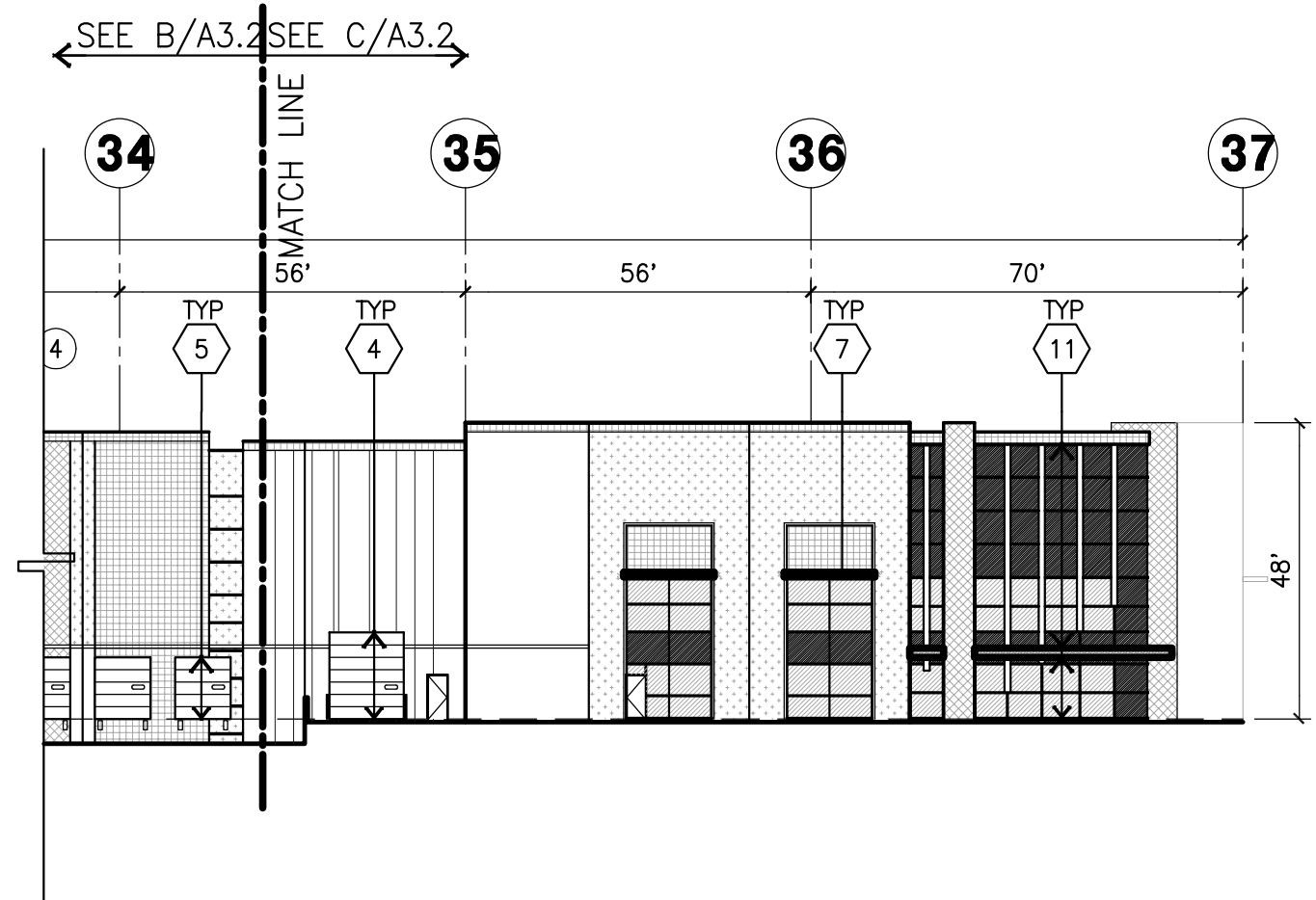
SOUTH ELEVATION
scale: 1"=30'-0"



SOUTH ELEVATION (CONT.)
scale: 1"=30'-0"



EAST ELEVATION
scale: 1"=30'-0"



SOUTH ELEVATION (CONT.)
scale: 1"=30'-0"

KEYNOTES - ELEVATIONS

- CONCRETE TILT-UP PANEL (PAINTED). FINISH GRADE VARIES. SEE "C" DRAWINGS. WATERPROOF ALL WALLS WHERE GRADE IS HIGHER AND EXPOSED TO THE WEATHER ONE SIDE. WATERPROOFING TO BE PROTECTED WITH PROTECTION BOARD AND A MIN. OF 2" OF GRAVEL. PROVIDE TRENCH DRAIN AT BOTTOM AND DRAINAGE TO CURB OR TAKE TO STORM DRAIN. NOT REQUIRED AT DOCK HIGH CONDITION OR AT RAMP WALLS.
- PANEL JOINT.
- PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR. U.N.O.
- OVERHEAD DOOR. DRIVE THRU. SEE DOOR SCHEDULE. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- OVERHEAD DOOR. DOCK HIGH. SEE DOOR SCHEDULE. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- CONCRETE STAIR, LANDING AND GUARDRAIL W/ METAL PIPE HANDRAIL. PROVIDE NON SKID NOSING TO MEET ADA REQUIREMENTS. PROVIDE CONTRASTING COLORED 2" WIDE WARNING STRIPE INTEGRAL TO CONCRETE AT TOP LANDING AND BOTTOM TREAD PER ADA REQUIREMENTS.
- CANOPY
- HOLLOW METAL DOORS. SEE DOOR SCHEDULE. PROVIDE COMPLETE WEATHER STRIPPING ALL AROUND DOOR. PROVIDE FOR RAIN DIVERTER ABOVE DOOR.
- INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPERS
- DOCK BUMPER
- ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING AT ALL DOORS. SUBLETES ADJACENT TO DOORS AND GLAZING WITH BOTTOMS LESS THAN 18" ABOVE FINISH FLOOR ELEVATION.
- ILLUMINATED BUILDING ADDRESS PER FIRE DEPT. REQUIREMENTS. 24"H. X 2" THICK HIGH DENSITY FOAM "HELIVATIC BOLD" W/ 1/16" CAST ALUMINUM FACES EPOXY TO WALL. COLOR TO BE SELECTED BY ARCHITECT.

GENERAL NOTES - ELEVATIONS

- ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- T.O.P. EL.= TOP OF PARAPET ELEVATION.
- D.F. = FINISH FLOOR ELEVATION.
- STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST 90 MPH. EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
- BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
- FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE.
- USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
- THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON

COLOR SCHED. - ELEVATIONS

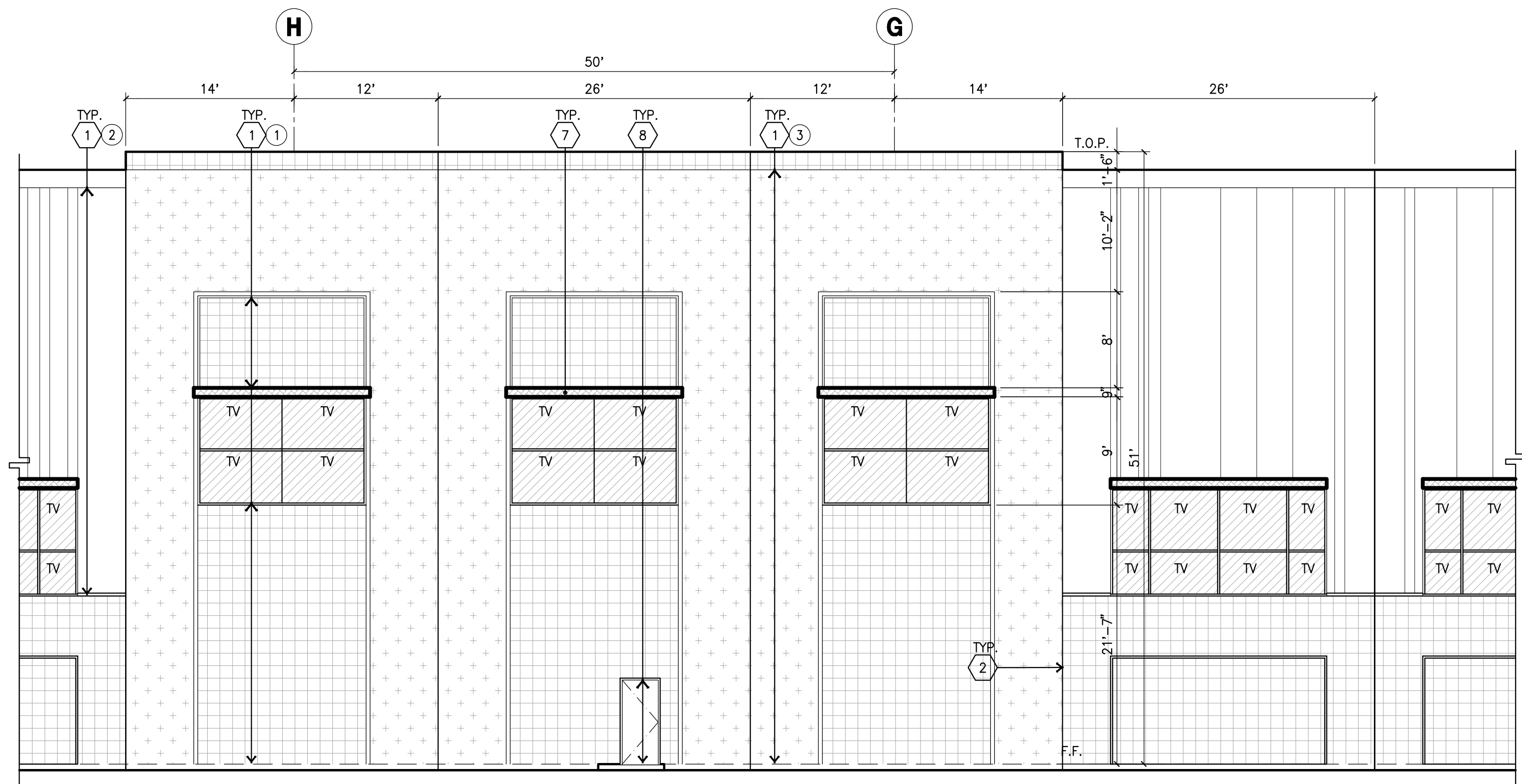
- CONCRETE TILT-UP PANEL PAINT BRAND: SHERWIN WILLIAMS SW 7531 CANVAS TAN
- CONCRETE TILT-UP PANEL PAINT BRAND: SHERWIN WILLIAMS SW 7532 URBAN PUTTY
- CONCRETE TILT-UP PANEL PAINT BRAND: SHERWIN WILLIAMS SW 7545 INTELLECTUAL GRAY
- CONCRETE TILT-UP PANEL PAINT BRAND: SHERWIN WILLIAMS SW 7546 ANONYMOUS
- MULLIONS PAINT BRAND: CLEAR ANODIZED
- GLAZING COLOR: BLUE REFLECTIVE GLAZING
- CANOPY PAINT BRAND: SHERWIN WILLIAMS SW 7075 WEB GRAY

GLAZING LEGEND

- TS TEMPERED SPANDREL GLASS TV TEMPERED VISION GLASS

PAINT AND MATERIAL LEGEND

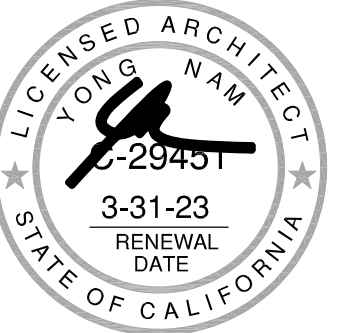
- 1 2 3 4 5



ENLARGED EAST ELEVATION @ POTENTIAL OFFICE AREA
scale: 1/8"=1'-0"



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Owner:



901 Via Piemonte, Suite 175
Ontario, CA 91764

tel: (909) 382-0033
fax: (909) 382-0073

Project:

**MORENO VALLEY
TRADE CENTER**

EUCALYPTUS AVE.
AND REDLANDS BLVD.

Eucalyptus Avenue
Moreno Valley, CA 92551

Consultants:

Civil: Thienes Engineering
Structural: -
Mechanical: -
Plumbing: -
Electrical: -
Landscape: Hunter Landscape
Fire Protection: -
Soils Engineer: -

Title: Elevations

Project Number: 19137
Drawn by: JC
Date: 10/03/19

Revision:

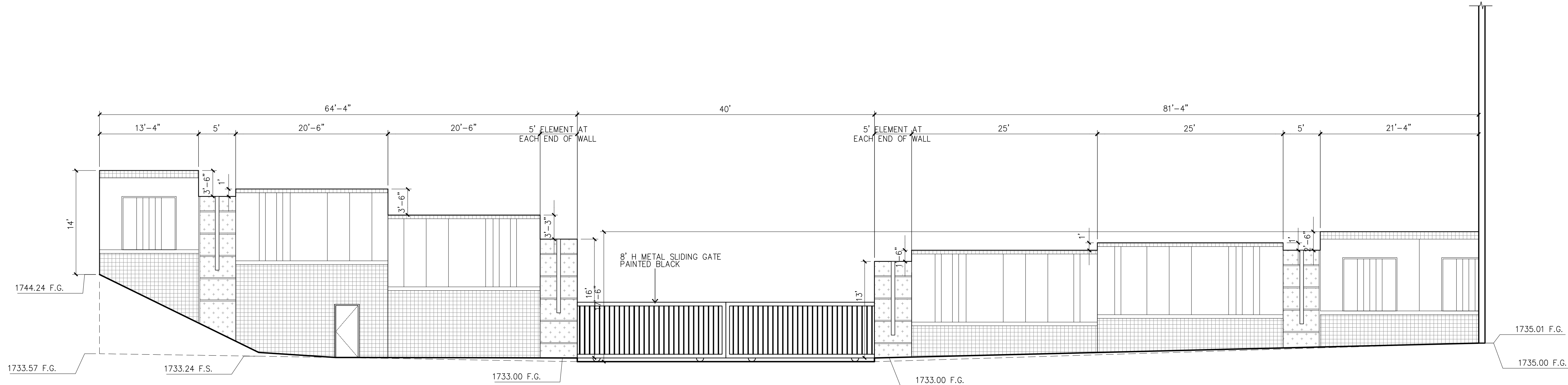
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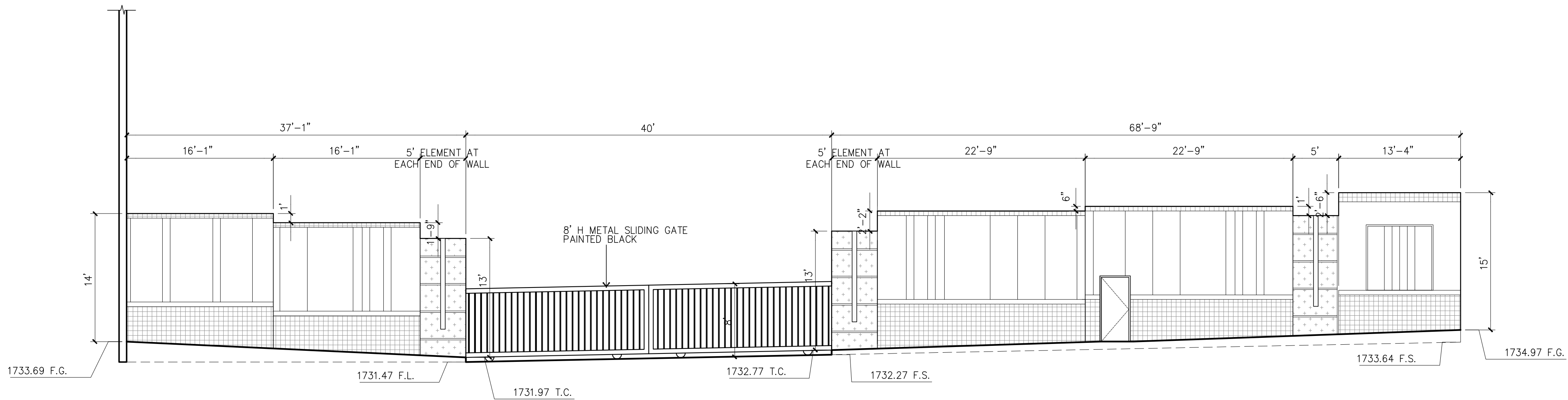
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OPTION 1

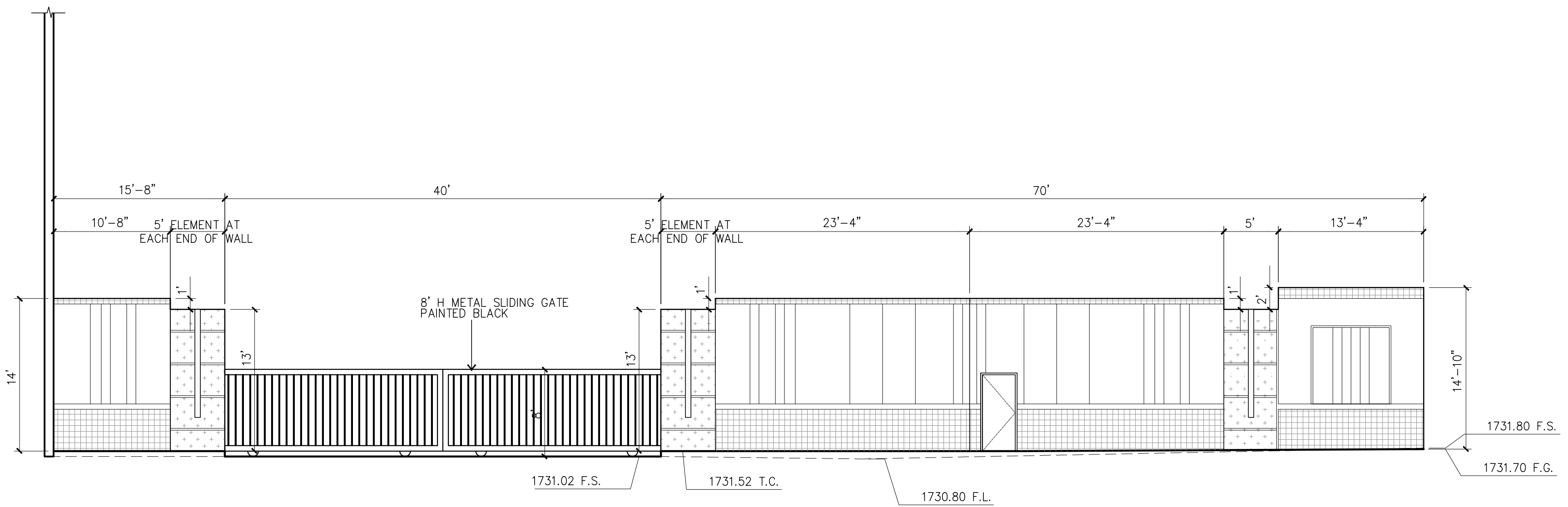
CALIFORNIA: IF THIS SHEET IS NOT 30"x42", IT IS A REDUCED PRINT.



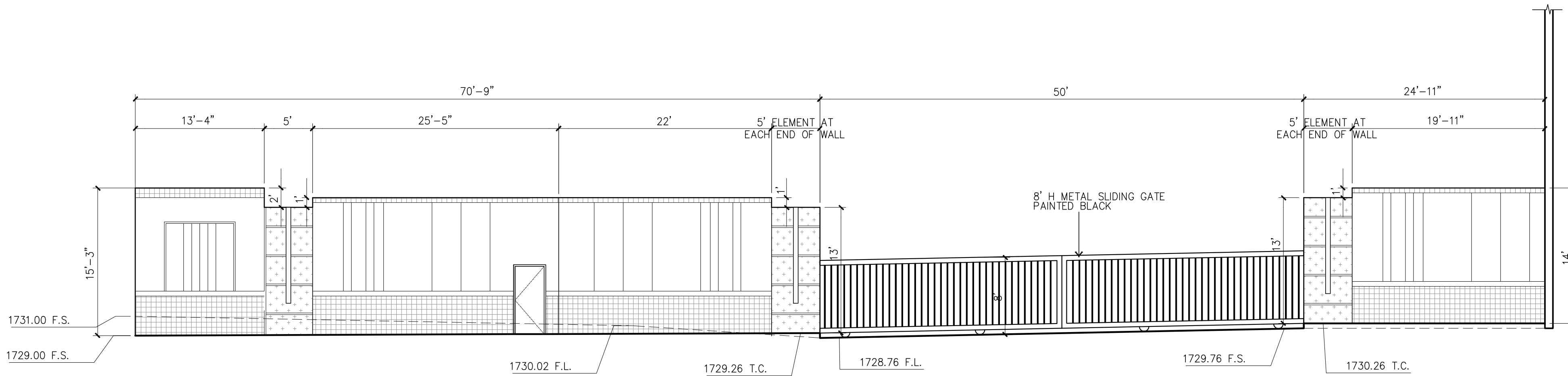
SCREENWALL ELEVATION A
scale: 1/8" = 1'-0"



SCREENWALL ELEVATION B
scale: 1/8" = 1'-0"

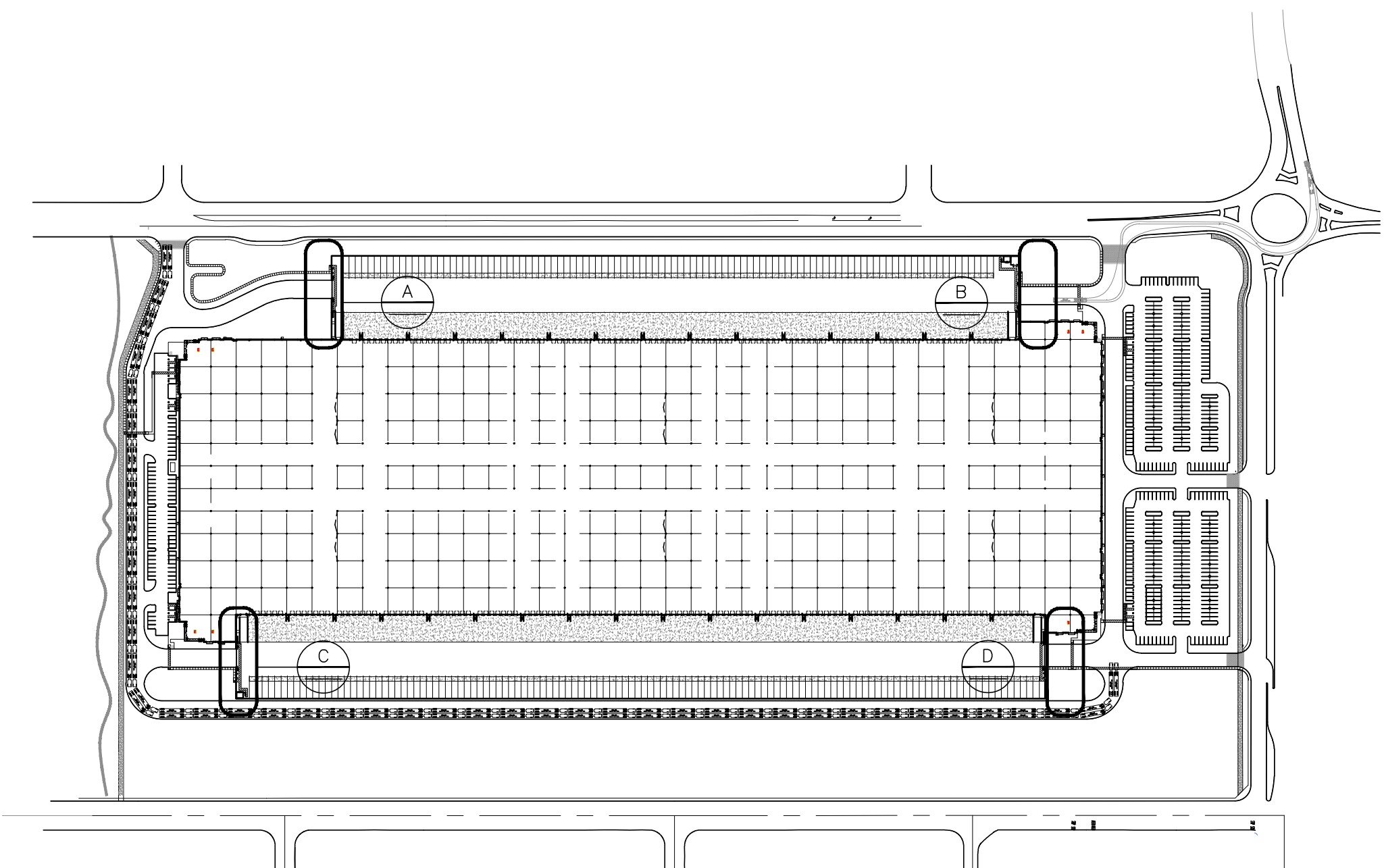


SCREENWALL ELEVATION C
scale: 1/8" = 1'-0"



SCREENWALL ELEVATION D
scale: 1/8" = 1'-0"

KEYMAP



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Project:

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AND REDLANDS BLVD.

Eucalytus Avenue
Moreno Valley, CA 92551

Consultants:

Civil:	Thienes Engineering
Structural:	-
Mechanical:	-
Plumbing:	-
Electrical:	-
Landscape:	Hunter Landscape
Fire Protection:	-
Soils Engineer:	-

Title: SCREENWALL ELEVATION

Project Number: 19137
Drawn by: JC
Date: 10/03/19
Revision:

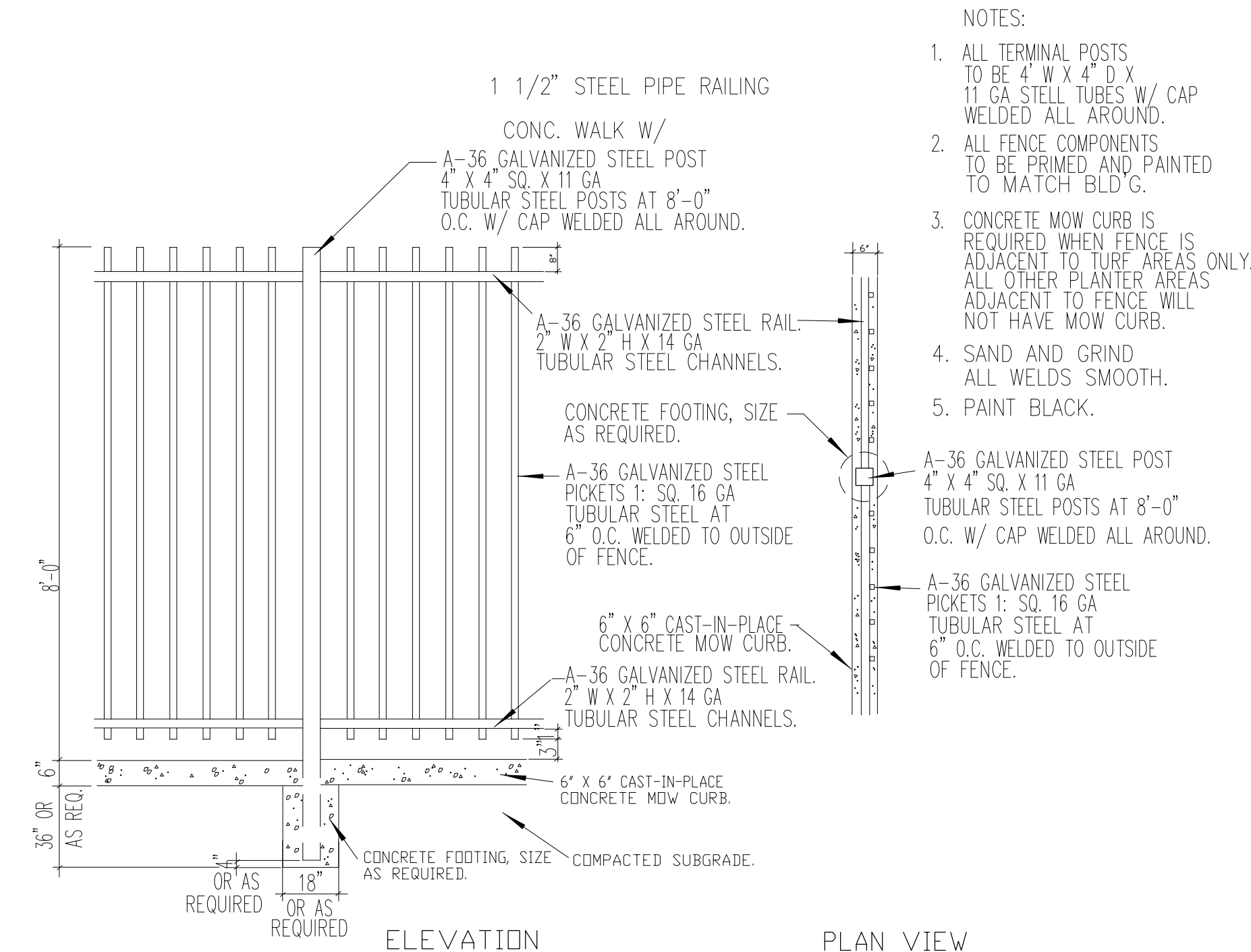
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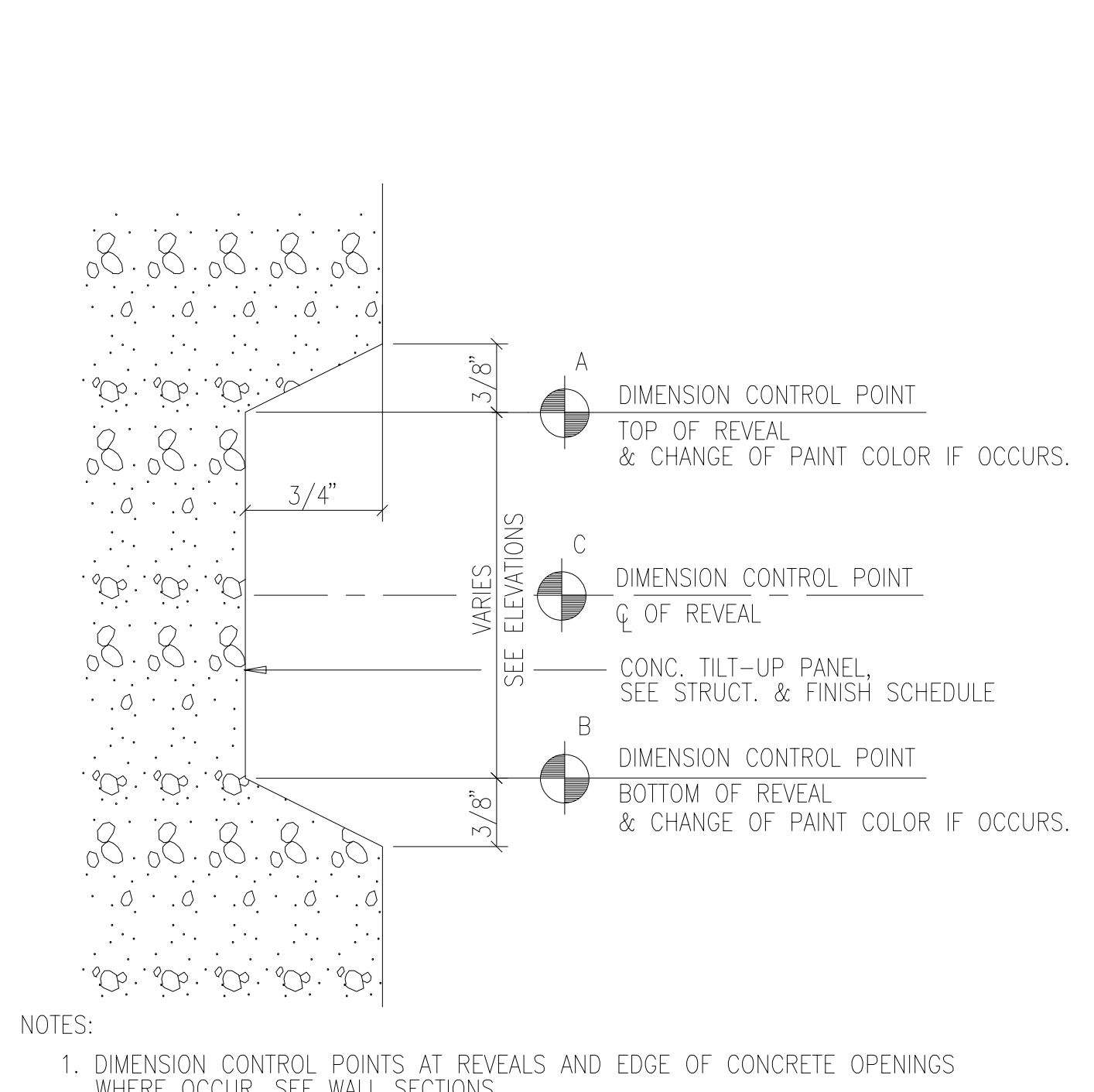
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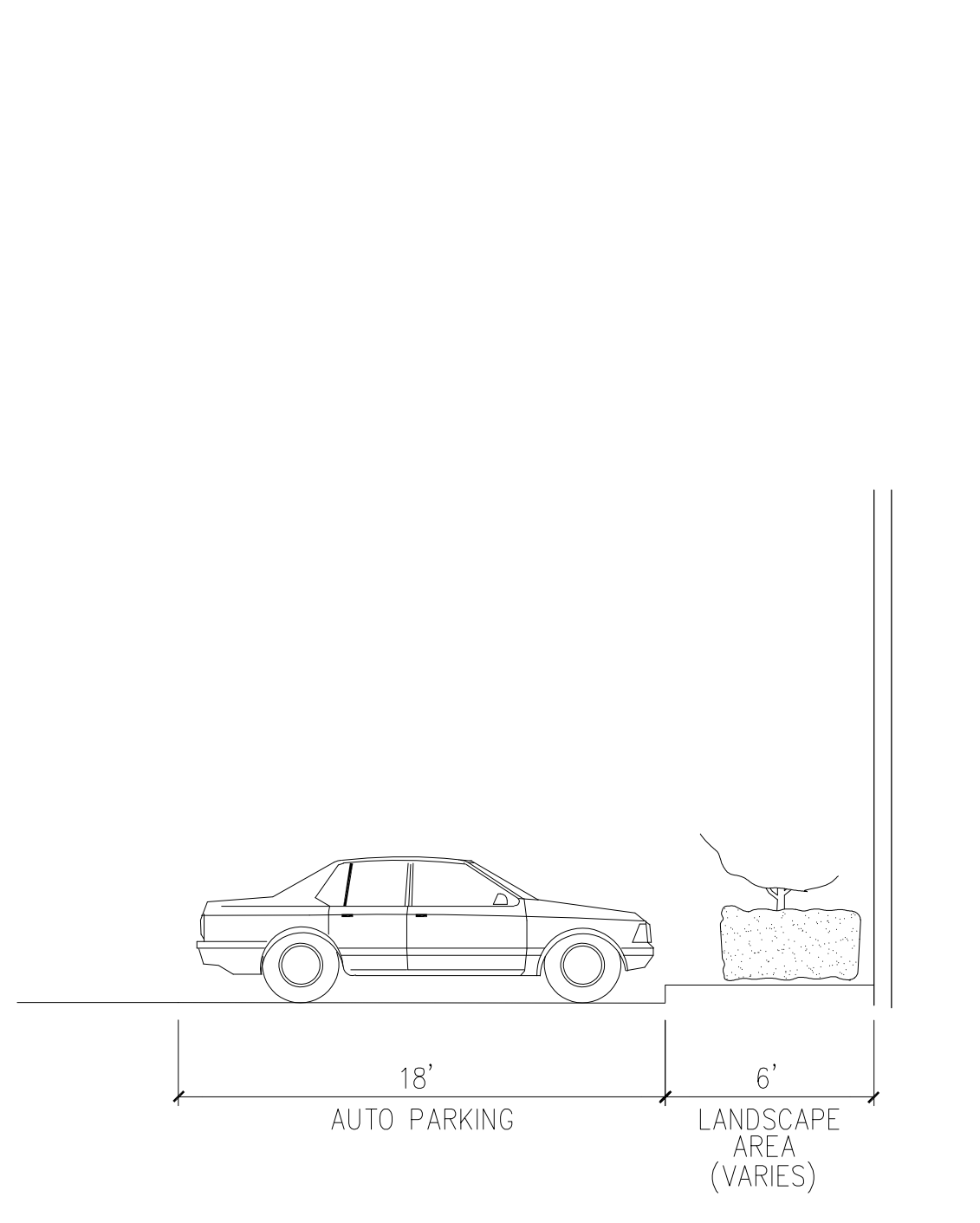
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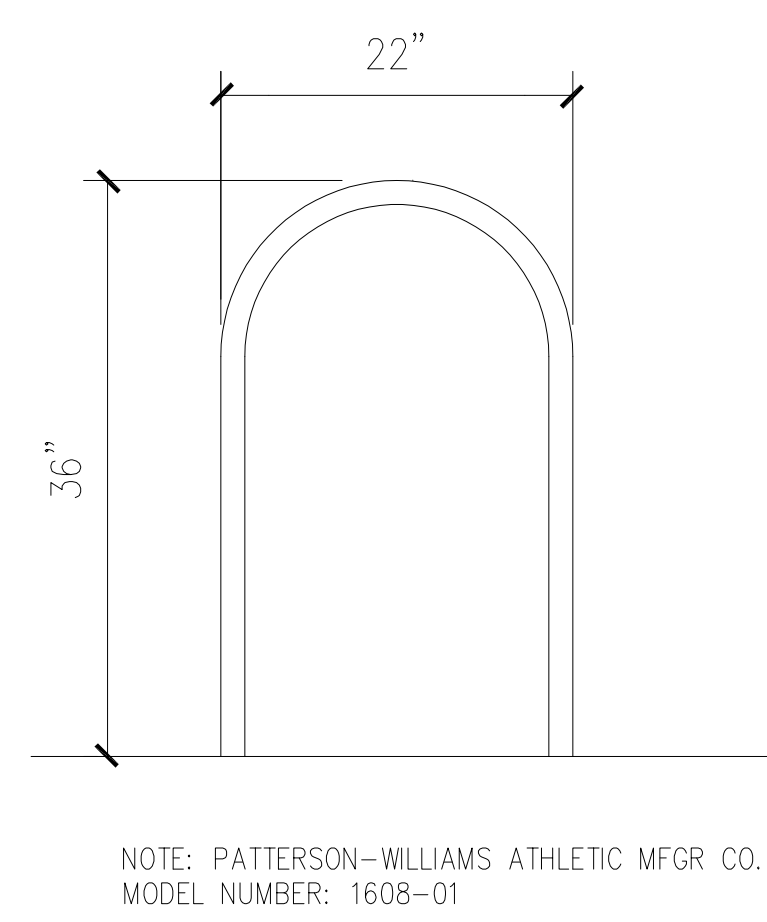
METAL FENCE DETAIL F
scale: N.T.S.



TYP. CONCRETE REVEAL E
scale: N.T.S.



TYPICAL PARKING SECTION B
scale: N.T.S.

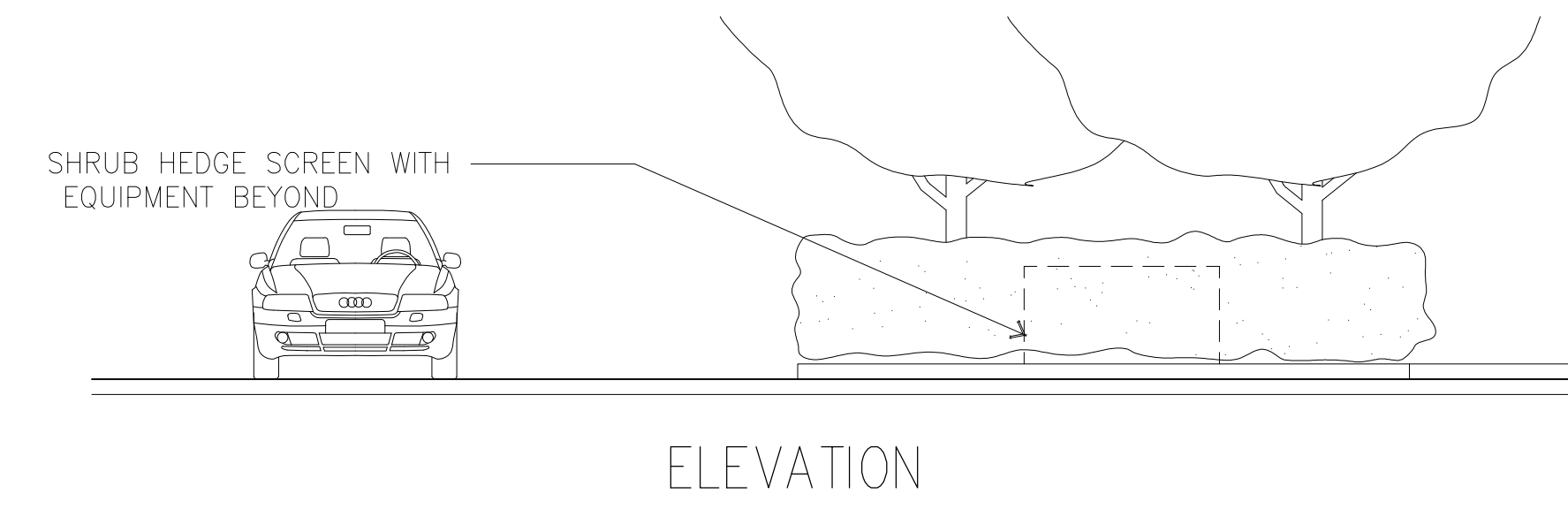
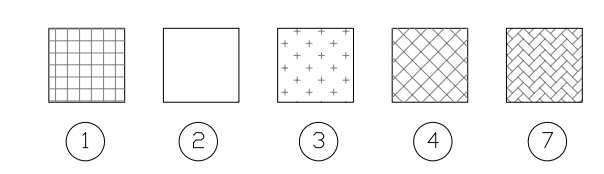


BIKE RACK G
scale: N.T.S.

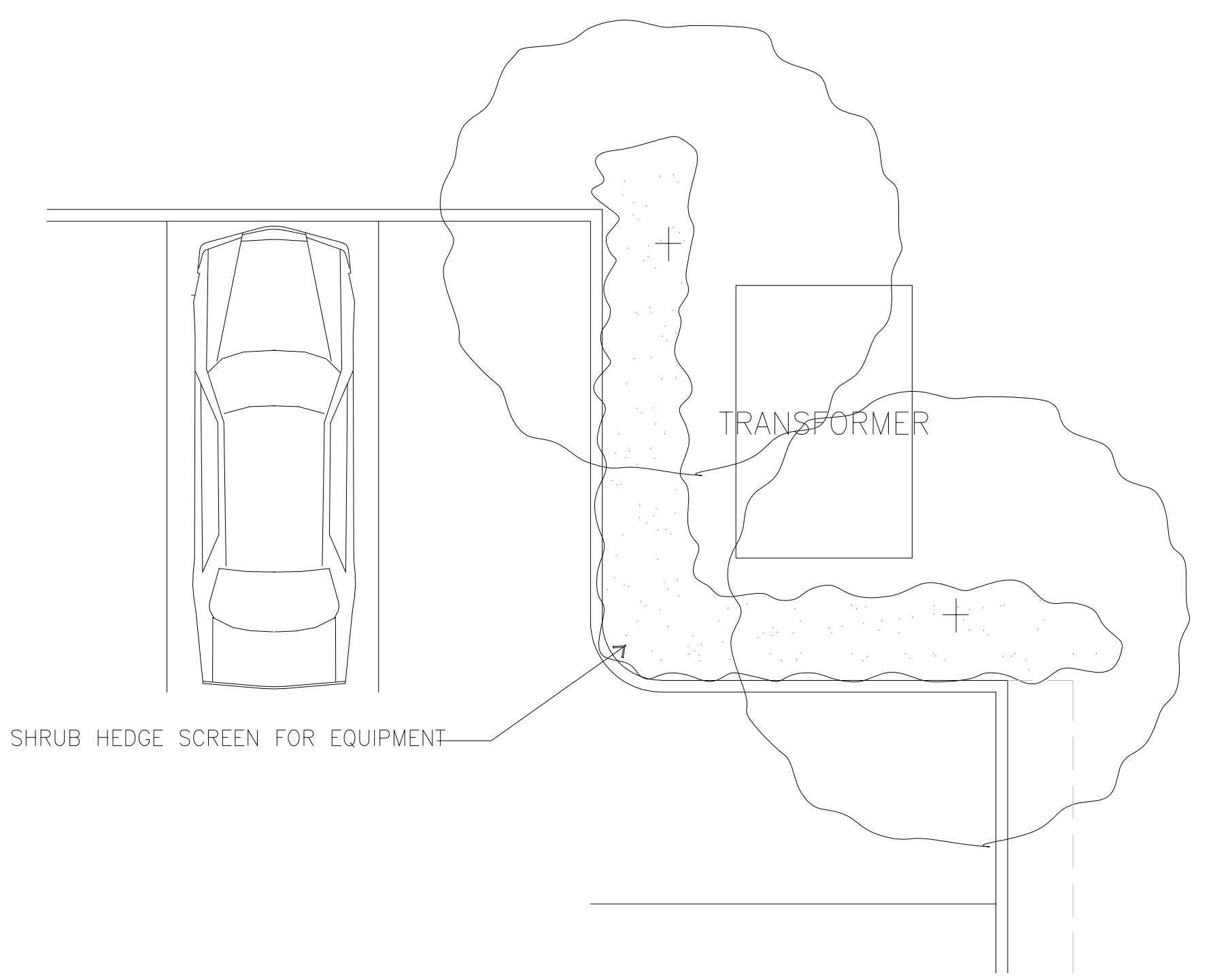
COLOR SCHED. - ELEVATIONS

- 1 CONCRETE TILT-UP PANEL PAINT BRAND SW 7531 CANVAS TAN
- 2 CONCRETE TILT-UP PANEL PAINT BRAND SW 7532 URBAN PUTTY
- 3 CONCRETE TILT-UP PANEL PAINT BRAND SW 7545 INTELLECTUAL GRAY
- 4 CONCRETE TILT-UP PANEL PAINT BRAND SW 7546 ANONYMOUS

PAINT AND MATERIAL LEGEND

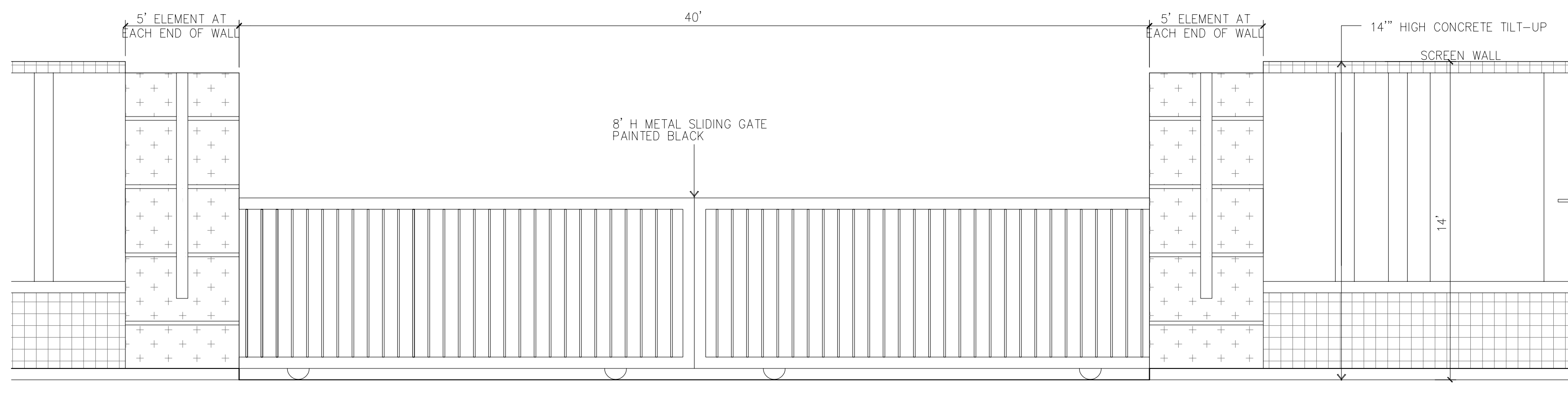


ELEVATION

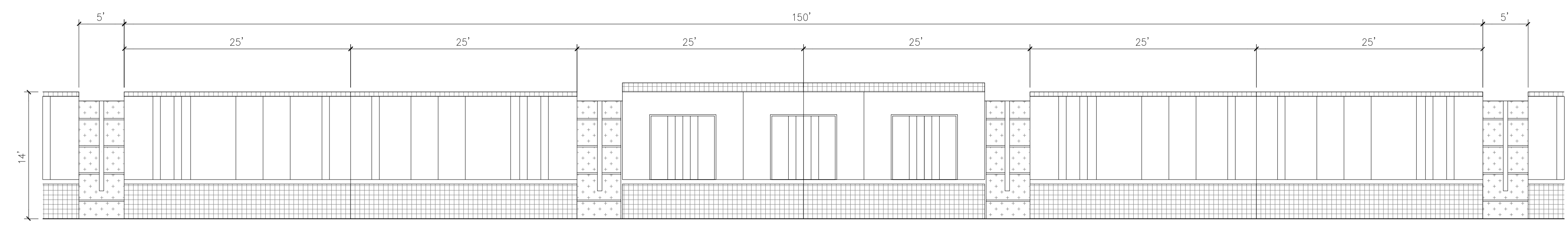


PLAN VIEW

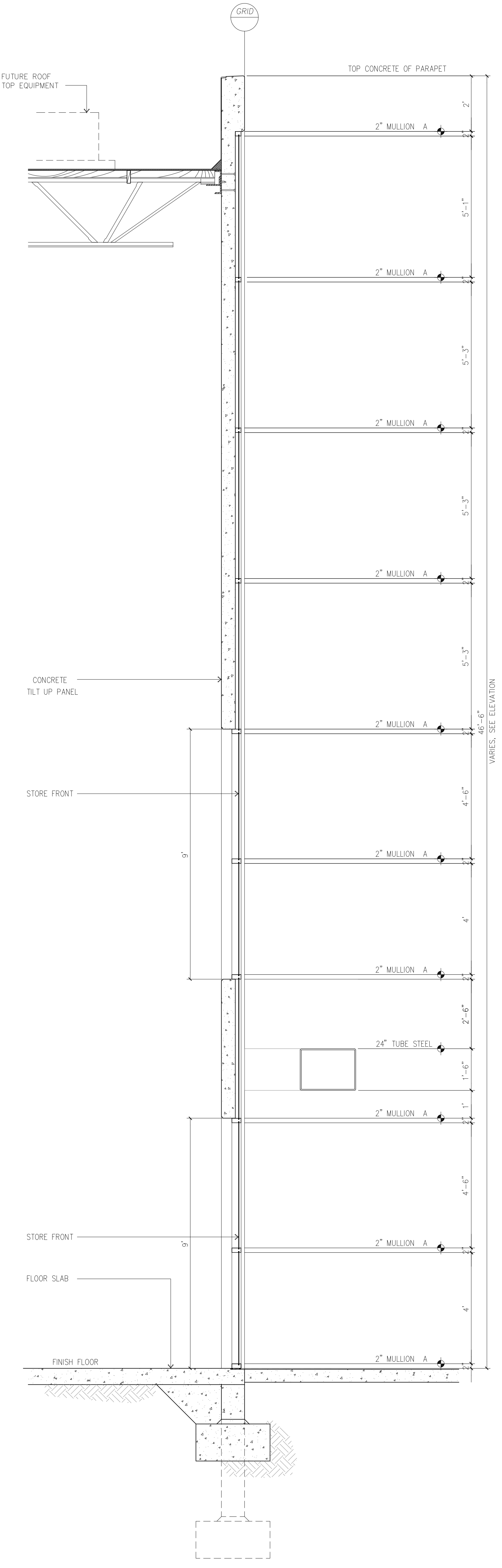
GROUND MOUNTED EQUIPMENT SCREENING, TYP. C
scale: N.T.S.



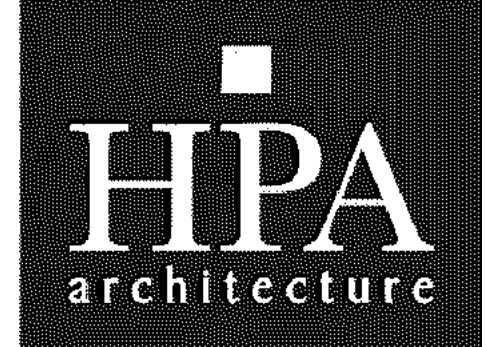
ENLARGED SCREEN WALL AND GATE ELEVATION D
scale: 1/4" = 1'-0"



ENLARGED SCREEN WALL, TYP. E
scale: 1/8" = 1'-0"



WALL SECTION @ OFFICE A
scale: 1/2" = 1'-0"



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Project:

MORENO VALLEY
TRADE CENTER

EUCALYPTUS AVE.
AND REDLANDS BLVD.

Eucalytus Avenue
Moreno Valley, CA 92551

Consultants:

- Civil: Thienes Engineering
- Structural: -
- Mechanical: -
- Plumbing: -
- Electrical: -
- Landscape: Hunter Landscape
- Fire Protection: -
- Soils Engineer: -

Title: section

Project Number: 19137
Drawn by: JC
Date: 10/03/19
Revision:

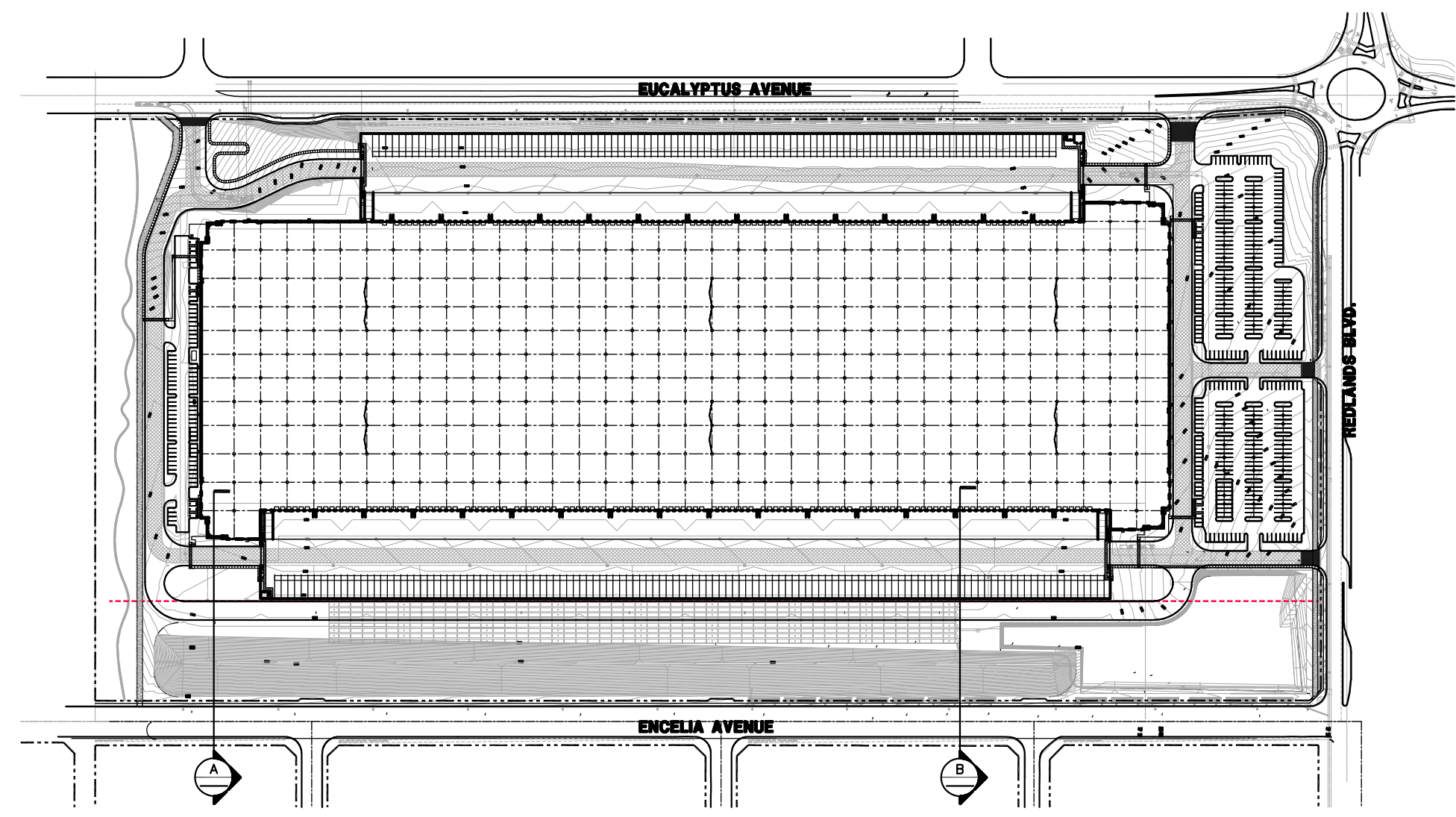
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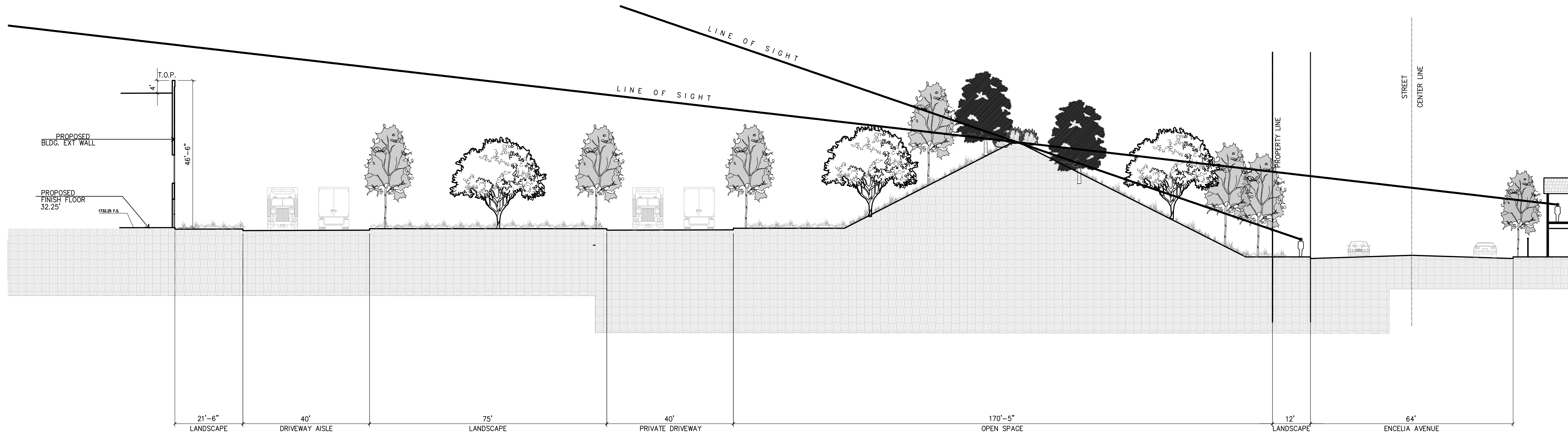
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OPTION 1

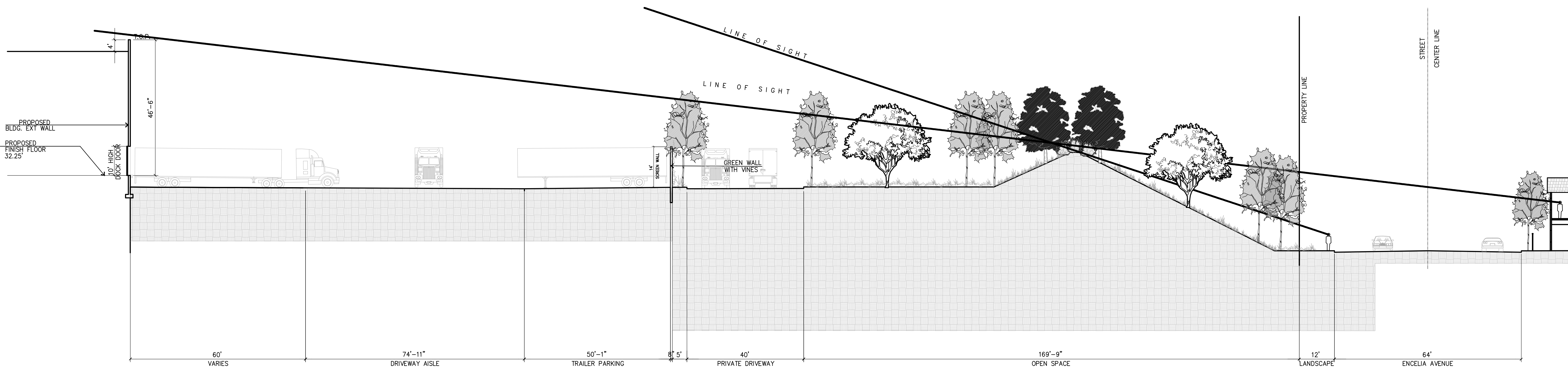
CALUTION: IF THIS SHEET IS NOT 30"x42" IT IS A REDUCED PRINT



KEY MAP
scale: NOT TO SCALE



CROSS SECTION AT ENCELIA AVENUE
scale: 1/16"=1'-0" **A**



CROSS SECTION AT ENCELIA AVENUE
scale: 1/16"=1'-0" **B**



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Consultants:

Civil:	Thienes Engineering
Structural:	-
Mechanical:	-
Plumbing:	-
Electrical:	-
Landscape:	Hunter Landscape
Fire Protection:	-
Soils Engineer:	-

Title: Site Sections

Project Number: 19137
Drawn by: JC
Date: 10/03/19

Revision:

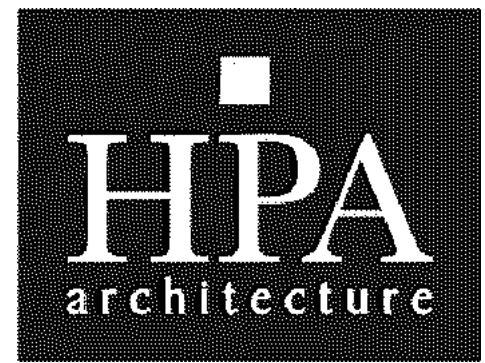
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Sheet:

DAB-A4.2

OPTION 1

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Project:

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Consultants:

Civil:	Thienes Engineering
Structural:	-
Mechanical:	-
Plumbing:	-
Electrical:	-
Landscape:	Hunter Landscape
Fire Protection:	-
Soils Engineer:	-

Title: Trash enclosure

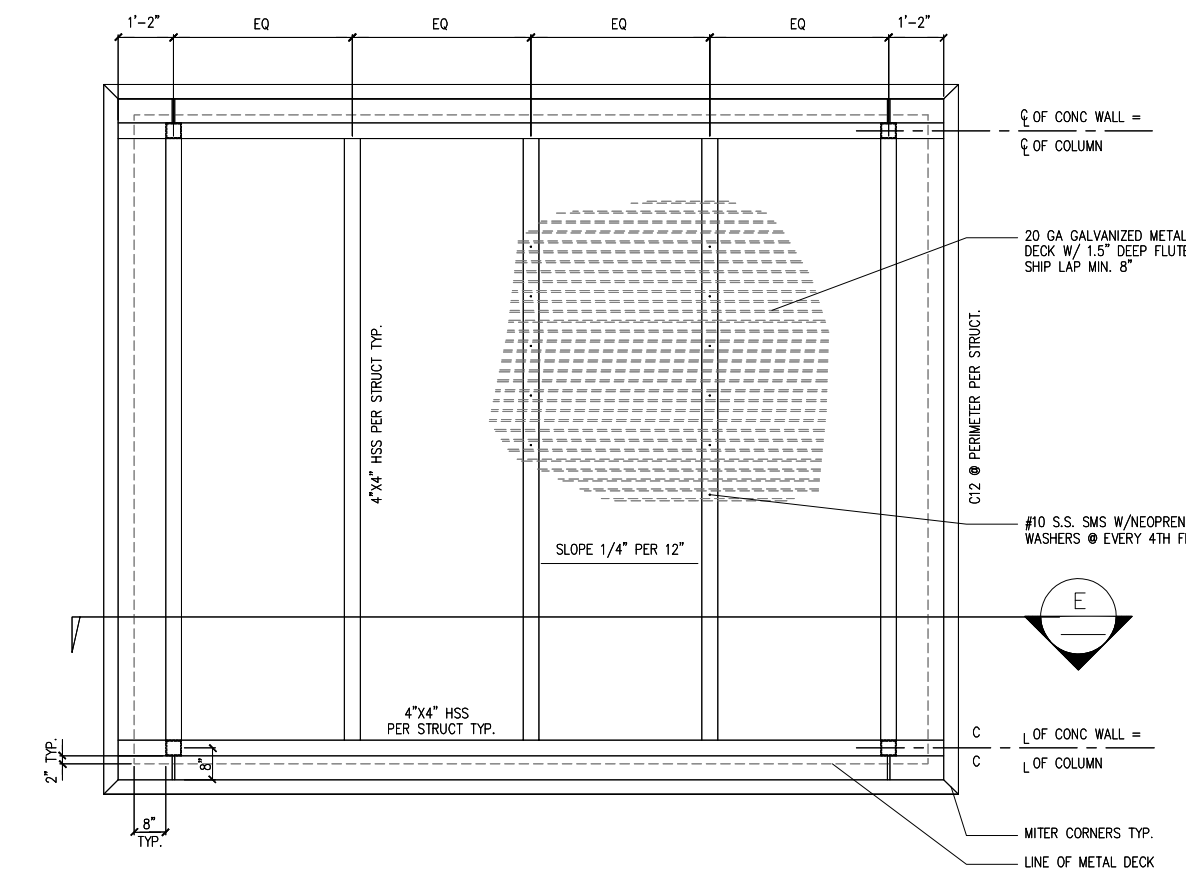
Project Number: 19137
Drawn by: JC
Date: 10/03/19

Revision:

PEN19-0193

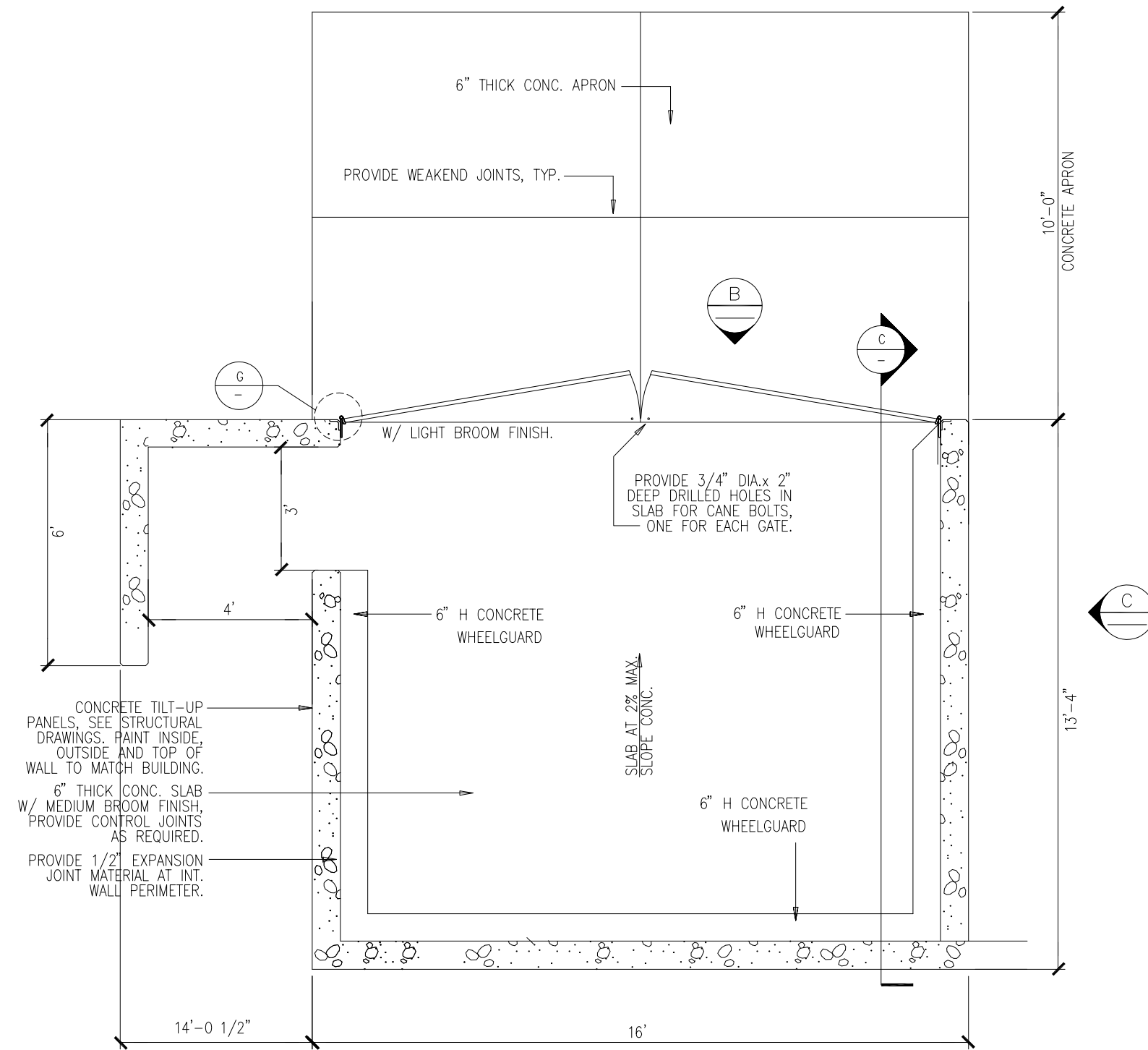
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DAB-A4.3
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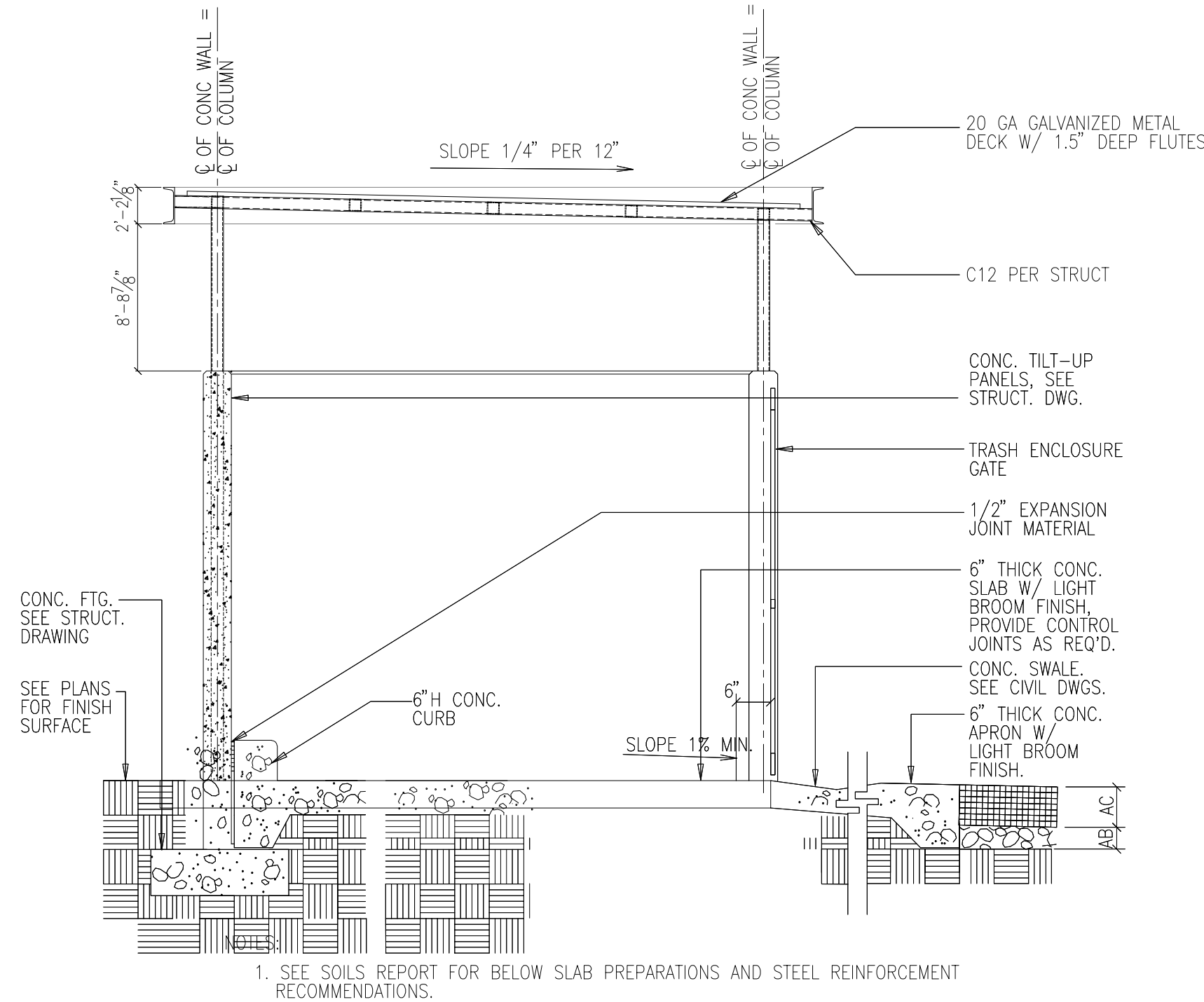


NOTE: GRIND SMOOTH ALL WELDS
PRIME AND PAINT ALL HSS TO MATCH FIELD PAINT

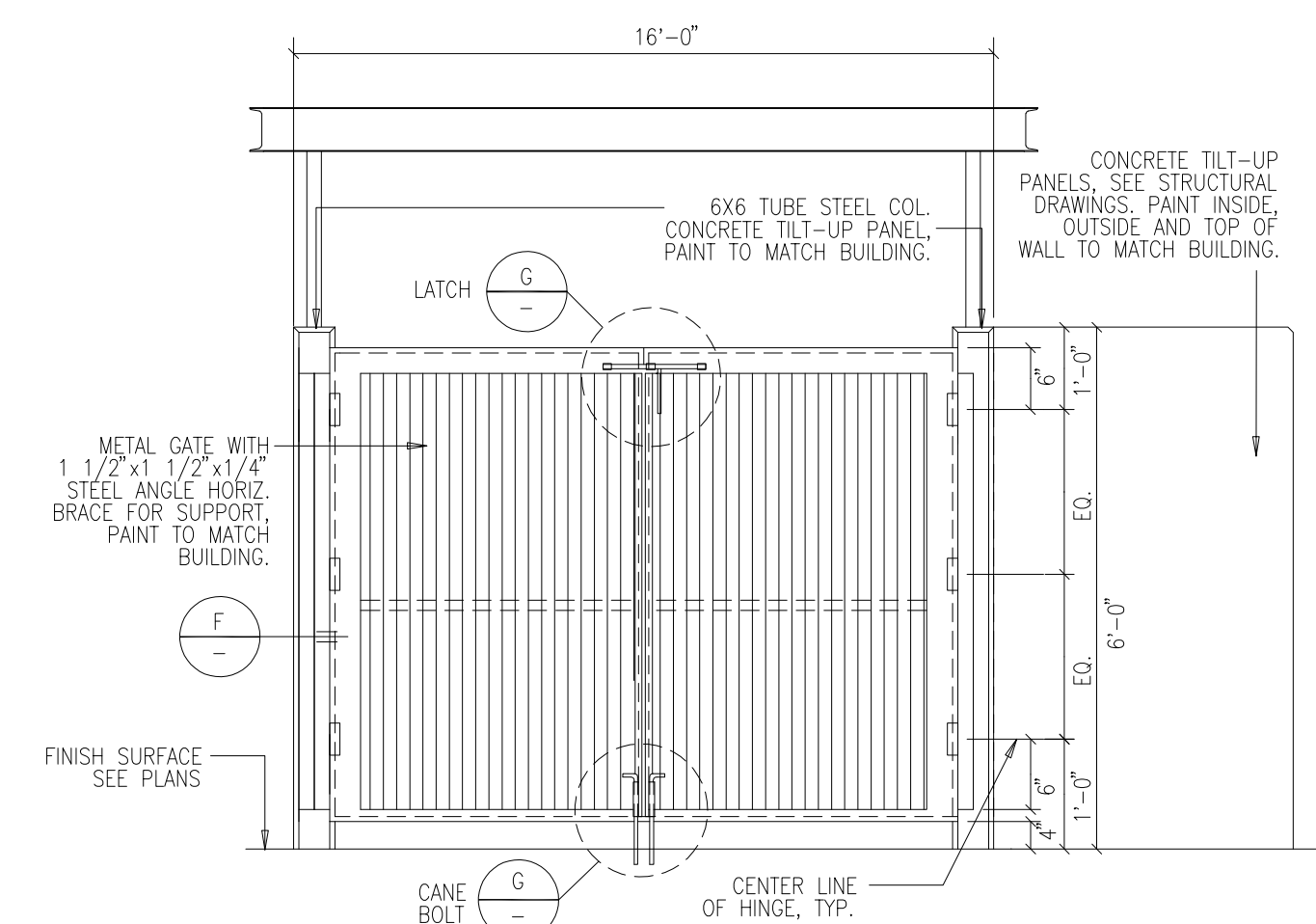
TRASH ENCLOSURE ROOF PLAN
scale: 1/4" = 1'-0" D



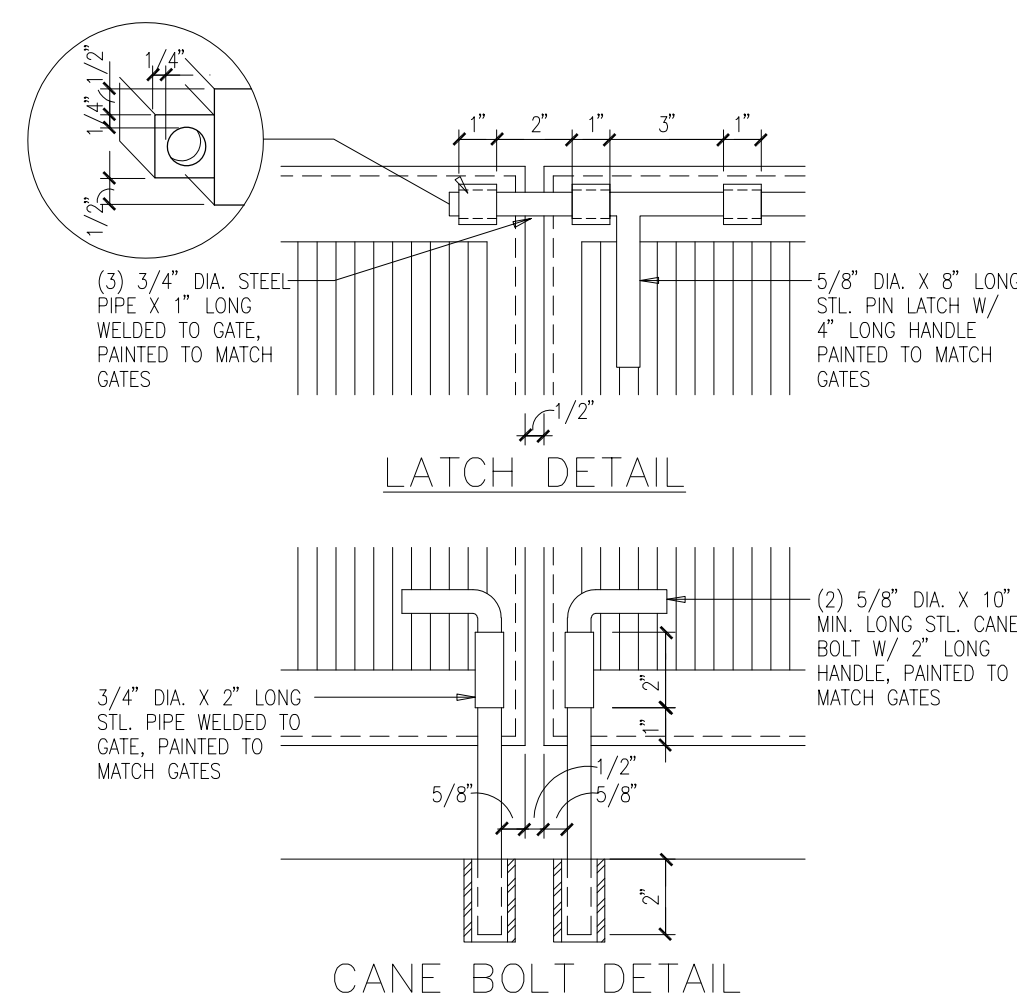
ENLARGED TRASH ENCLOSURE PLAN
SCALE: 1"=10'-0" A



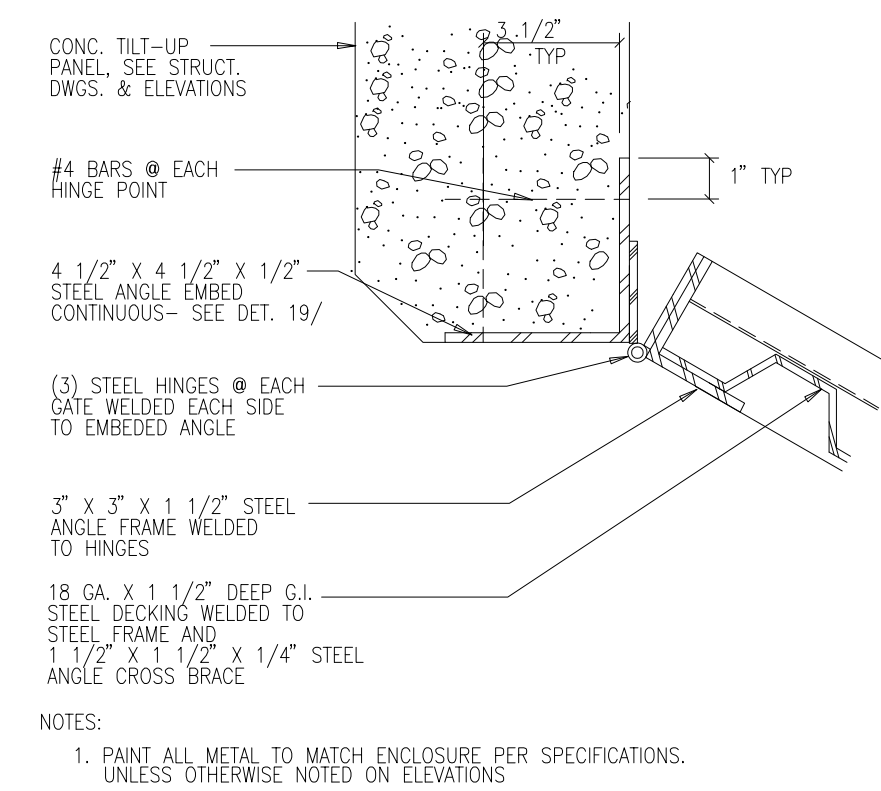
TRASH ENCLOSURE SECTION
scale: NTS E



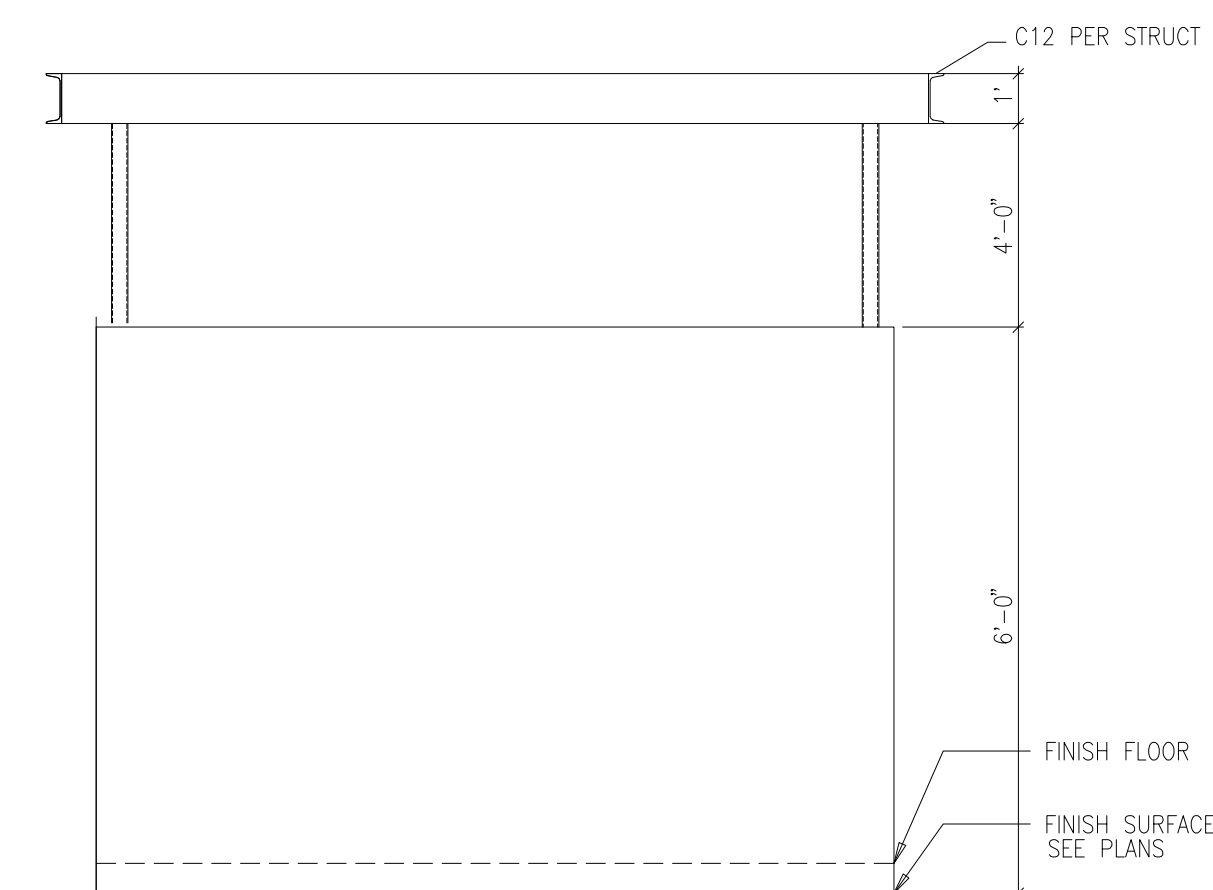
TRASH ENCLOSURE GATE ELEVATION
scale: 1/4" = 1'-0" B



TRASH ENCLOSURE GATE LATCHES
SCALE: NTS G



TRASH ENCLOSURE GATE & HINGE
SCALE: NTS F



TRASH ENCLOSURE GATE ELEVATION
SCALE: 1/2" = 1'-0" C



BUILDING 1 NORTH ELEVATION - EUCALYPTUS AVENUE



BUILDING 1 WEST ELEVATION - QUINCY CHANNEL



BUILDING 1 SOUTH ELEVATION - ENCELIA AVENUE



BUILDING 1 EAST ELEVATION - REDLANDS BLVD.



ENLARGED VIEW OF BUILDING 1 WEST ELEVATION - QUINCY CHANNEL

